



City of Charleston

Board of Architectural Review-SMALL

February 22, 2018

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

106 Grove Street - - TMS#463-15-01-046

Request after-the-fact approval for demolition of brick veneer façade.

Not Rated / Wagener Terrace / c.1958 / N of Line/S of Mt. Pleasant

106 GROVE STREET
BOARD OF ARCHITECTURAL REVIEW - APPLICATION FOR APPROVAL OF
AFTER-THE-FACT DEMOLITION
FEBRUARY 2ND, 2018



110 GROVE STREET
(SR-2)



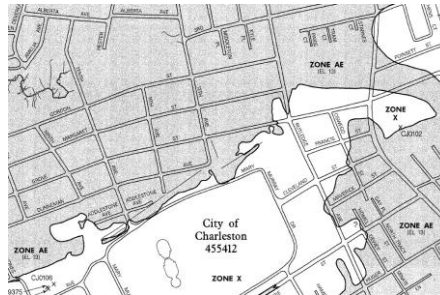
106 GROVE STREET
(SR-2 WITH VARIANCE FOR RESTAURANT)



PARKING
(759 RUTLEDGE AVENUE)



CITY OF CHARLESTON ZONING MAP
(INTERSECTION OF GROVE STREET AND RUTLEDGE AVENUE)



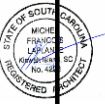
FEMA FLOOD MAP
(PORTION OF # 45019C0512J SHOWN)

PROPERTY RESEARCH	
	ADDITIONS TOWARDS THE REAR PROPERTY LINE.
2014	106 GROVE PROPERTY WAS ADJUSTED TO CREATE AN ENLARGED 108 GROVE STREET, WHERE A NEW SINGLE FAMILY RESIDENCE WAS CONSTRUCTED.
2016	BAR APPROVAL WAS GRANTED FOR PARTIAL DEMOLITION OF ONE-STORY BUILDING, RETAINING BRICK FACADE.
2017	ZONING APPROVALS WERE GRANTED FOR REDUCED SETBACKS, SPECIFIC OPERATING RULES FOR A RESTAURANT WITH OUTSIDE PATRON USE AREA SERVING BEER AND WINE IN AN SR-2 ZONING DISTRICT, AND AN EXCEPTION TO PARKING REQUIREMENTS.
2018	TRC APPROVAL AND BUILDING PERMITS WERE GRANTED.

PROPERTY RESEARCH

HERD PROVISIONS

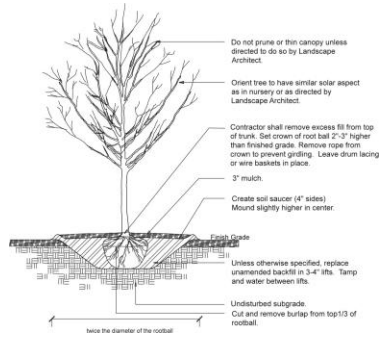
106 GROVE STREET
 CHARLESTON, SOUTH CAROLINA 29403



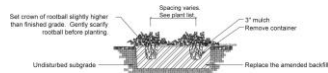
Date	Job No.	
1.6		
Dwg. By	Chk. By	
ML		
Revisions		
No.	Date	Description
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		
<input type="radio"/>		

Laplanche Associates
 Architecture
 Interior Architecture
 Kowich Island, SC

T101




L101 SCALE: NTS



L101 SCALE: NTS

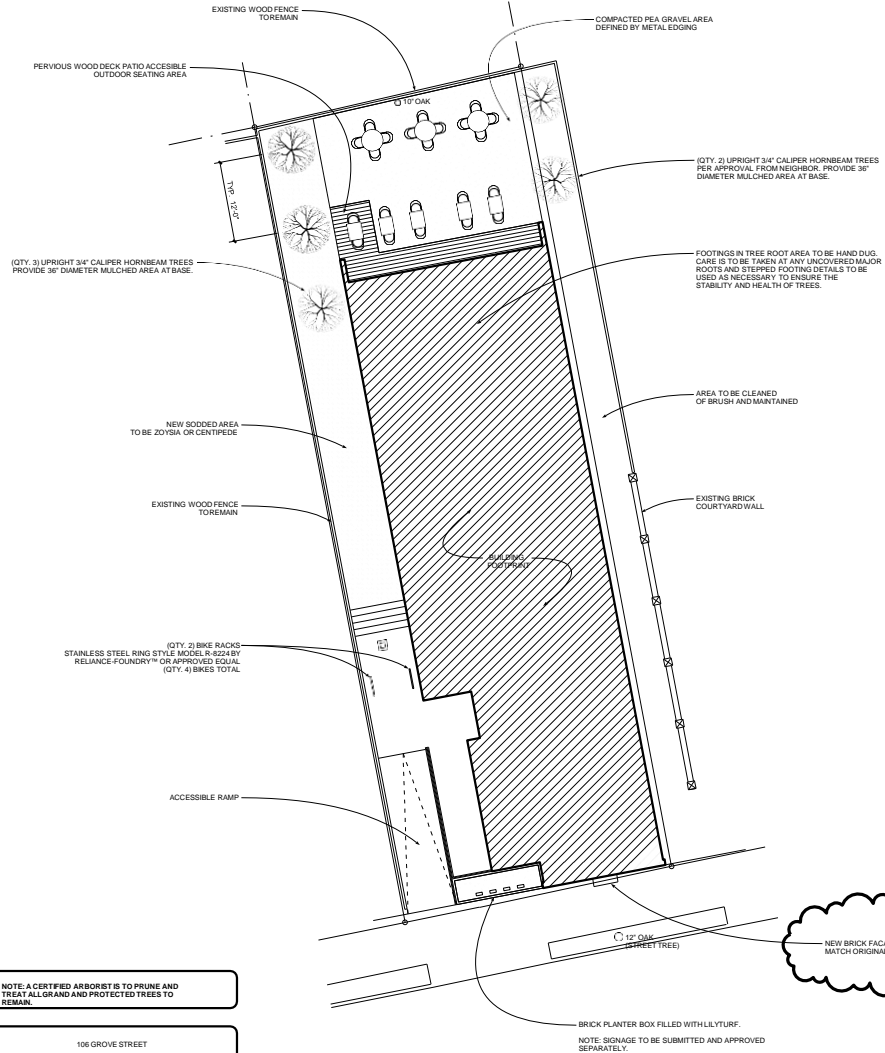
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
5	CARPINUS	HORNBEAM	3/4"	UPRIGHT & FULL
12	LIRIOPE MUSCARI	LILYTURF	1 GAL	SPACE 18" O.C.
600 SF		ZOYSIA OR CENTIPEDE	N/A	



PLANT SCHEDULE

L101
SCALE: NTS

L101 SCALE: NTS



106 GROVE STREET
TMS # 463 - 15 - 01 - 046
TOTAL LOT AREA = 4,812 SQ. FT. (0.11 ACRES)
PROPOSED BUILDING FOOTPRINT = 2,790 SQ. FT. (58%)
NOTE: APPROVED VARIANCE FROM SEC. 54-301 TO ALLOW
58% LOT COVERAGE BY BUILDINGS.
(50% REQUIRED RESPECTIVELY).

L101 SCALE: 1/8" = 1'-0"

Date		Job No.
3/24/16		
Dwg By	Chk By	
JF	ML	
Revisions		
No.	Date	Description
1	01.05.	SCHEMATIC
2	16	DESIGN
3	07.18.	BZA-Z
4	16	SUBMITTAL
5	09.13.	DESIGN
6	16	DEMOLITION
7	02.16.	DESIGN DEVT
8	17	
9	03.08.	PRICING
10	17	
11	04.14.	PERMIT CHECK
12	17	SET
13	09.05.	TRC SUBMITTAL
14	17	
15	09.18.	CONSTRUCTION
16	17	
17		DOCUMENTS

9 01.92
18
Lapointe
Associates
Architecture
Interior Architecture
Kiawah Island, SC

L101

INTERIOR WALL TYPES

- (A) 2X4 WOOD FRAMED STUD WALL WITH GYP. BOARD FINISH
(B) 2X4 WOOD FRAMED STUD WALL WITH FRP OR STAINLESS STEEL FINISH
(C) 2X4 WOOD FRAMED STUD WALL WITH WOOD PANELING FINISH

NOTE: SEE STRUCTURAL ENGINEERING AND ELEVATIONS FOR EXTERIOR WALL AND ROOF TYPES.

HERD PROVISIONS

106 GROVE STREET
CHARLESTON, SOUTH CAROLINA 29403

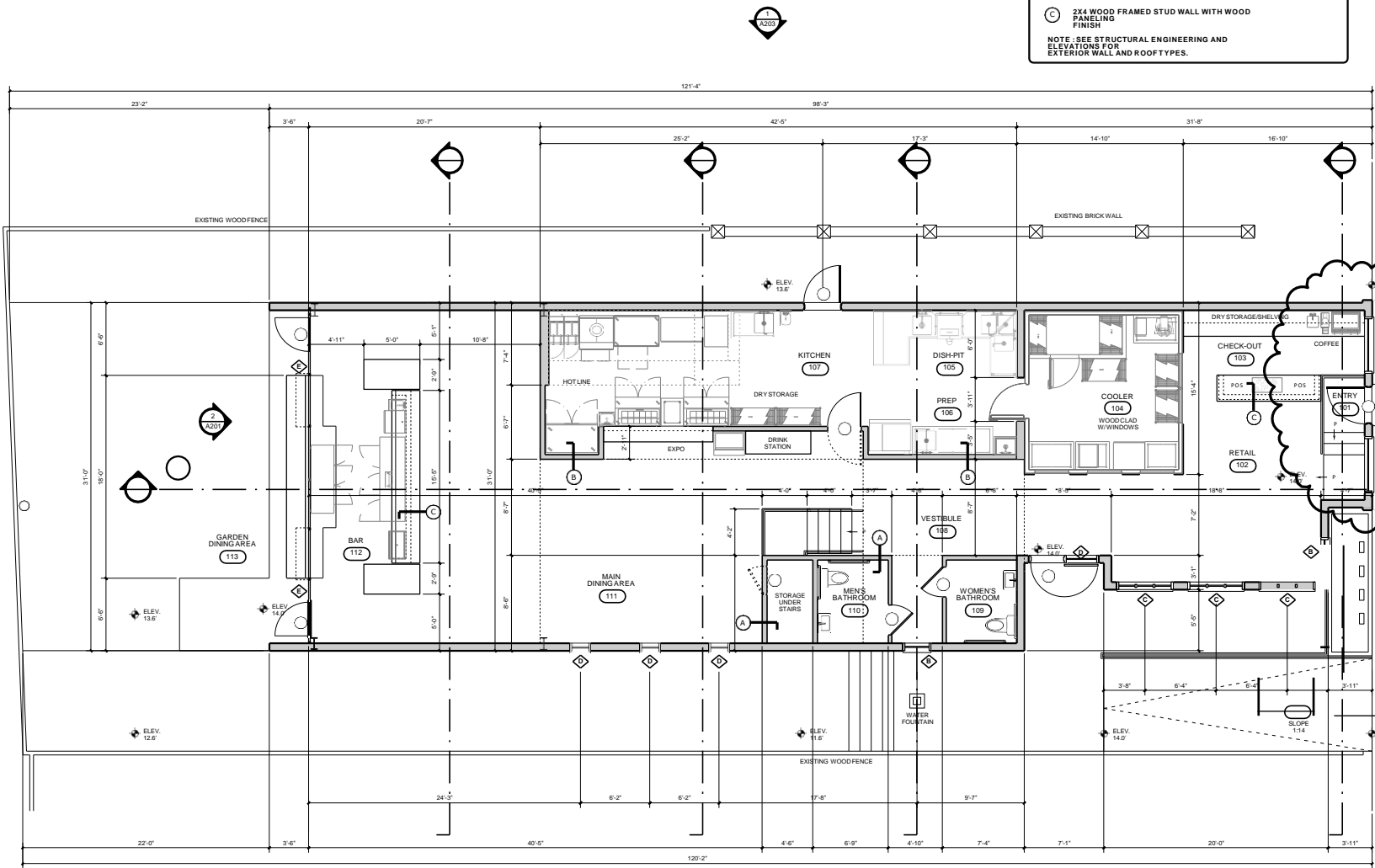


Job No. 3076
Drawn By: [Signature]
Checked By: ML
Revisions:

No.	Date	Description
1	01.05.16	SCHEMATIC DESIGN
2	02.02.16	BZA-Z SUBMITTAL
3	03.02.16	DEMOLITION
4	04.14.16	PERMIT CHECK SET
5	06.05.16	PERMIT SUBMITTAL
6	09.16.16	CONSTRUCTION DOCUMENTS
7	02.02.16	NEAR DEMO (W/PERMIT)
8	02.16.17	DEVT
9	03.08.17	PRICING

Laplane Associates
Architecture Interior Architecture
Kawahara, SC

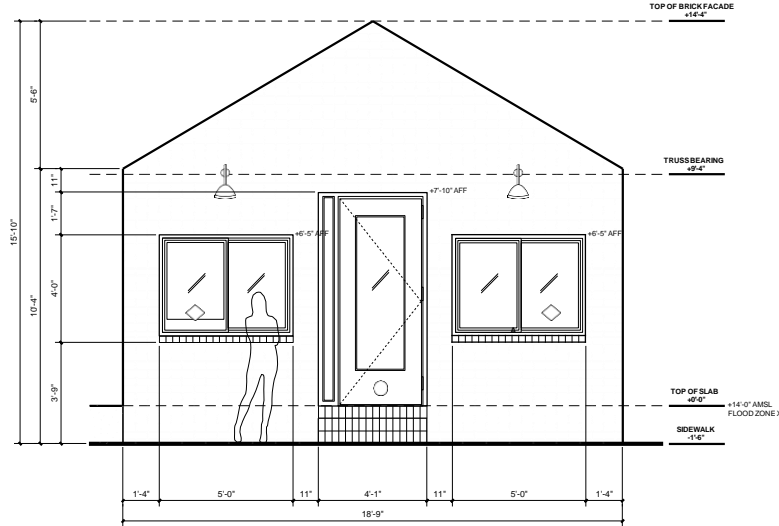
A101



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- MOLEKROY™ METAL ROOF, 100% COVERAGE "ICE & WATER SHIELD" W/ ALUMINUM CRISP EDGES, FLASHING, & COUNTER FLASHING
- SEE DETAILS ON SHEET A601
- FIRESTONE™ TPO ROOFING, INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE REQUIRED INSULATION, SLOPE, AND SCUPPERS
- SEE DETAILS ON SHEET A601
- BRICK VENEER TO MATCH ORIGINAL FACADE. OVER 2 PLY 30 LB. ASPHALT FELT, 1/2" EXTERIOR PLYWOOD, & 2x6 P.T. @ 16" O.C. FRAMING W/ OPEN CELL INSULATION.
- BRICK TIES EVERY 14 COURSES @ 32" O.C.
- SEE STRUCTURAL FOR ADDITIONAL DETAILS
- SUBMIT SAMPLES OF BRICK & MORTAR TO ARCHITECT FOR REVIEW & APPROVAL
- FOUNDATION WALLS TO HAVE WEEPS @ 32" O.C. ABOVE GRADE.
- SEE STRUCTURAL AND SHEET A603 FOR DETAILS
- WINDOWS AND DOORS TO BE STANDARD ALUMINUM STOREFRONT WITH BRONZE ANODIZED FINISH. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- SEE DETAILS, ELEVATIONS, AND NOTES ON SHEET A602
- WINDOW SILLS AT BRICK WALLS TO BE BRICK & MORTAR TO MATCH ORIGINAL FACADE.
- BRICKS SET TO TOP OF MIN. 10 DEGREE & 2" PROUD OF BRICK VENEER.
- ALL SILLS TO BE FULLY FLASHED BEHIND BRICK.
- SEE DETAILS ON SHEET A603
- EXTERIOR SIDING TO BE NICHHA™ PANELS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- SEE DETAILS ON SHEET A602
- ALTERNATIVE TO BE HARDIE™ SMOOTH PANELS WITH HARDIE™ BATTENS
- ALL EXTERIOR EXPOSED FASTENERS TO BE STAINLESS STEEL
- WATERPROOFING REQUIRED FROM A POINT 6" BELOW FINISH GRADES TO TOP OF SPREAD FOOTING. CONTRACTOR TO SUBMIT RECOMMENDED PRODUCT AND WARRANTY PRIOR TO PROCEEDING.
- EXTERIOR TRIM TO BE HARDIE™ SMOOTH TRIM
- ALL EXTERIOR EXPOSED FASTENERS TO BE STAINLESS STEEL
- WATERPROOFING REQUIRED FROM A POINT 6" BELOW FINISH GRADES TO TOP OF SPREAD FOOTING. CONTRACTOR TO SUBMIT RECOMMENDED PRODUCT AND WARRANTY PRIOR TO PROCEEDING.
- EXTERIOR SOFFITS TO BE 1/4" HARDIE™ SMOOTH PANELS W/ LATTICE AT JOINTS AND EVERY 4'-0" O.C. EACH WAY.
- EXTERIOR WINDOW & DOOR TRIM AT HARDIE™ SIDING TO BE HARDIE™ SMOOTH TRIM.
- ALL P.T. BLOCKING
- ALL SLOPED TOPS & RETURNS
- ALL HEADS TO HAVE H.D. GALVANIZED OR ALUMINUM FLASHING W/ FULL RETURNS UP WALLS 8" MIN.
- ALL SILLS TO HAVE SLOPED SUB-SILL
- NATURAL CONCRETE WITH BROOM FINISH
- SEE STRUCTURAL FOR DETAILS
- STEP AT FRONT DOOR TO BE BRICK & MORTAR TO MATCH ORIGINAL FACADE.



BRICK FACADE ENLARGED ELEVATION
- GROVE STREET - SOUTH

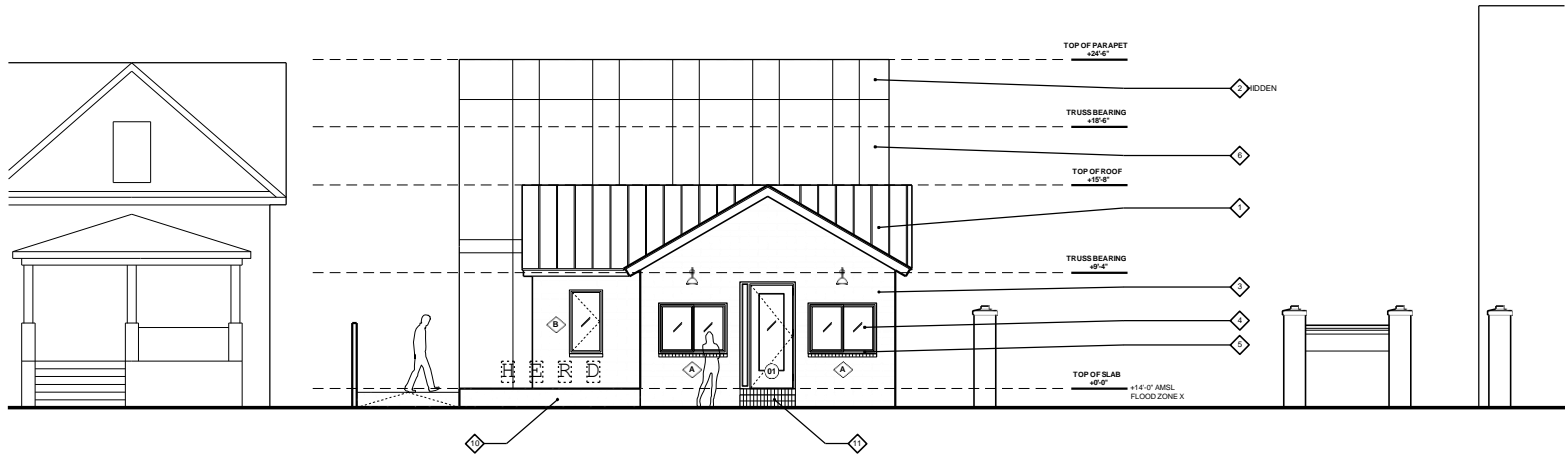
3
A201
SCALE: 1/2" = 1'-0"



PHOTO OF ORIGINAL BRICK FACADE
- GROVE STREET - SOUTH

2
A201
SCALE: N/A

- ALL CEMENTITIOUS PRODUCTS TO BE HARDIE™ OR APPROVED EQUAL MANUFACTURER.
- ALL CEMENTITIOUS PRODUCTS TO BE PAINTED.
- ALL EXTERIOR P.T. WOOD TO RECEIVE SOLID STAIN.
- ALL PRIMING TO BE ROLLER OR BRUSH APPLIED.
- ALL EXTERIOR PAINTED MATERIALS TO RECEIVE (2) ROLLER OR BRUSH APPLIED COATS OF SOLID LATEX EXTERIOR PAINT. CONTRACTOR TO REVIEW AFTER APPLICATION OF EACH COAT.



FRONT ELEVATION - GROVE STREET - SOUTH

1
A201
SCALE: 1/4" = 1'-0"

HERD PROVISIONS
106 GROVE STREET
CHARLESTON, SOUTH CAROLINA 29403

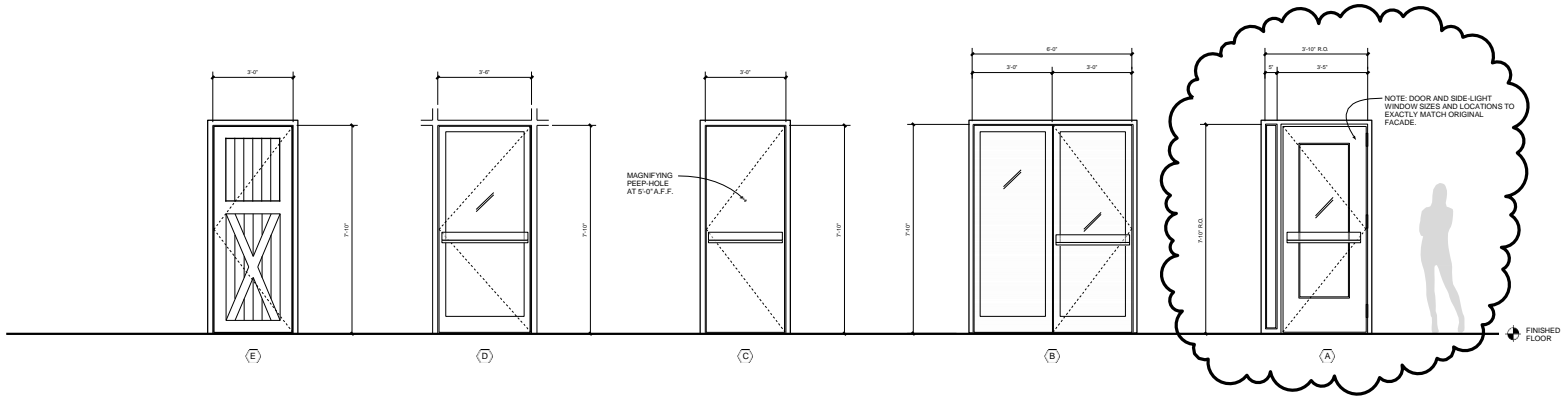


Date	Job No	
3/24/16		
Dwg By	Chk By	
JF	ML	
Revisions		
No.	Date	Description
1	01.05.16	SCHEMATIC
2	07.18.16	DESIGN SUBMITTAL
3	08.13.16	DEMOLITION
4	02.16.17	DESIGN DEV'T
5	03.08.17	PRICING
6	04.14.17	PERMIT CHECK SET
7	05.05.17	TRC SUBMITTAL
8	06.18.17	CONSTRUCTION
9	01.02.18	DOCUMENTS
		BAR DEMO
		(AFTER-THE-FACT)

Lapointe Associates
Architecture
Interior Architecture

Kiewit Group, LLC

A201



2 DOOR STYLE ELEVATIONS
A501 SCALE: 1/2" = 1'-0"

1. G.C. MUST PROVIDE DOOR PRODUCT DATA SUBMITTAL AND SHOP DRAWINGS FOR OWNER APPROVAL, PRIOR TO FABRICATION.

2. ALL LEVERS ARE HAGER™ "2500" SERIES, GRADE 2 CYLINDRICAL, UL LISTED UP TO 3 HOURS, GC TO VERIFY DOORS MEET FIRE RATINGS AS SHOWN ON AFPI AND AFPE.

3. DOOR TYPES "A, B, C & D" TO BE STANDARD ALUMINUM STOREFRONT W/ BRONZE ANODIZED FINISH. GLAZING TO BE TEMPERED 1" INSULATED.

4. MANUFACTURER TO CONFIRM EGRESS DOORS AREA CODE COMPLIANT AS PER IRC 2015 SECTION 108.

5. MANUFACTURER TO CONFIRM EXTERIOR DOORS MEET IMPACT AND DP RATINGS PER IRC 2015 SECTION 1710.5 EXCEPT WHERE OTHERWISE PROTECTED.

6. G.C. SHALL COORDINATE LOCK AND KEY REQUIREMENTS WITH OWNER.

1710.5 Exterior window and door assemblies.
The design pressure rating of exterior windows and doors in buildings shall be determined in accordance with Section 1710.5.1 or 1710.5.2.

Exception:
Structural wind load design pressures for window units smaller than the size tested in accordance with Section 1710.5.1 or 1710.5.2 shall be permitted to be higher than the design value of the tested unit provided such higher pressures are determined by accepted engineering analysis. All components of the small unit shall be the same as the tested unit. Where such calculated design pressures are used, they shall be validated by an additional test of the window unit having the highest allowable design pressure.

1710.5.1 Exterior windows and doors.
Exterior windows and sliding doors shall be tested and labeled as conforming to AIAA/VDMACSA 1011.5.2(A440). The label shall state the name of the manufacturer, the approved labeling agency and the product designation as specified in AIAA/VDMACSA 1011.5.2(A440). Exterior side-hinged doors shall be tested and labeled as conforming to AIAA/VDMACSA 1011.5.2(A440) or comply with Section 1710.5.2. Products tested and labeled as conforming to AIAA/VDMACSA 1011.5.2(A440) shall not be subject to the requirements of Sections 2402.2 and 2402.3.

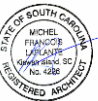
1710.5.2 Exterior windows and door assemblies not provided for in Section 1710.5.1.
Exterior window and door assemblies shall be tested in accordance with ASTM E 330. Structural performance of garage doors and rolling doors shall be determined in accordance with either ASTM E 330 or ANSI/DASMA 108, and shall meet the acceptance criteria of ANSI/DASMA 108. Exterior window and door assemblies containing glass shall comply with Section 2403. The design pressure for testing shall be calculated in accordance with Chapter 16. Each assembly shall be tested for 10 seconds at a load equal to 1.5 times the design pressure.

3 DOOR NOTES
A501 SCALE: N/A

NO. (A)	TYPE	DESCRIPTION	SIZE (NOMINAL)	DOOR MATERIAL	HARDWARE	INT/EXT	COMMENTS
0 1	E	EGRESS DOOR	3'-10" X 7'-10" R.O.	ALUMINUM & GLASS	HAGER™ "4500 SERIES RM" PANIC HARDWARE W/ "3100 SERIES" GRADE 1 DEADLOCK, AND "5100 SERIES" DOOR CLOSER	EX T	COORDINATE FIXED-SIDE LIGHT PER ELEVATIONS AND DETAILS ON 2/A503
0 2	E	EGRESS DOOR	6'-0" X 7'-10" R.O.	ALUMINUM & GLASS	HAGER™ "4500 SERIES RM" PANIC HARDWARE W/ "3100 SERIES" GRADE 1 DEADLOCK, AND "5100 SERIES" DOOR CLOSER	EX T	COORDINATE FIXED SIDE LIGHT PER ELEVATIONS AND DETAILS ON 2/A503
0 3	E	EGRESS DOOR	3'-0" X 7'-10" R.O.	HOLLOW METAL	HAGER™ "4500 SERIES RM" PANIC HARDWARE W/ "3100 SERIES" GRADE 1 DEADLOCK, AND "5100 SERIES" DOOR CLOSER	EX T	PROVIDE MAGNIFYING PEEP-HOLE PER ELEVATIONS AND DETAILS ON 2/A503
0 4	E	EGRESS DOOR	3'-0" X 7'-10" R.O.	ALUMINUM & GLASS	HAGER™ "4500 SERIES RM" PANIC HARDWARE W/ "3100 SERIES" GRADE 1 DEADLOCK, AND "5100 SERIES" DOOR CLOSER	EX T	COORDINATE PER ELEVATIONS AND DETAILS ON 2/A503 AND W/ STOREFRONT GLAZING SHOWN ON WINDOW ELEVATIONS ON 2/A504
0 5	E	EGRESS DOOR	3'-0" X 7'-10" R.O.	ALUMINUM & GLASS	HAGER™ "4500 SERIES RM" PANIC HARDWARE W/ "3100 SERIES" GRADE 1 DEADLOCK, AND "5100 SERIES" DOOR CLOSER	EX T	COORDINATE PER ELEVATIONS AND DETAILS ON 2/A503 AND W/ STOREFRONT GLAZING SHOWN ON WINDOW ELEVATIONS ON 2/A504
0 6	I	BATHROOM DOOR	3'-0" X 7'-0" R.O.	WOOD (X-BRACE)	HAGER™ "2500 SERIES LEVER" PRIVACY DOOR HARDWARE W/ "5400 SERIES" STANDARD DOOR CLOSER	INT T	COORDINATE PER ELEVATIONS AND DETAILS ON 2/A503
0 7	I	BATHROOM DOOR	3'-0" X 7'-0" R.O.	WOOD (X-BRACE)	HAGER™ "2500 SERIES LEVER" PRIVACY DOOR HARDWARE W/ "5400 SERIES" STANDARD DOOR CLOSER	INT T	COORDINATE PER ELEVATIONS AND DETAILS ON 2/A503
0 8	I	KITCHEN DOOR	3'-0" X 7'-0" R.O.	POLYMER CORE & GLASS	ELIASON™ INTERNAL HARDWARE	INT T	ENG-1 TRAFFIC DOOR IN "STORM GRAY" W/ SCUFFPLATE & WINDOW
0 9	I	ACCESS DOOR	2'-0" X 7'-0" R.O.	WOOD	HIDDEN HINGES AND LEATHER STRAP TO MATCH BANQUETTE SEAT PAD	INT T	DOOR FINISH TO MATCH ADJACENT WALL FINISH
1	I	STORAGE DOOR	3'-0" X 7'-0" R.O.	WOOD (X-BRACE)	HAGER™ "2500 SERIES LEVER" OFFICE DOOR	INT	COORDINATE PER ELEVATIONS AND DETAILS ON 2/A503

4 DOOR SCHEDULE
A501 SCALE: N/A

HERD PROVISIONS
106 GROVE STREET
CHARLESTON, SOUTH CAROLINA 29403

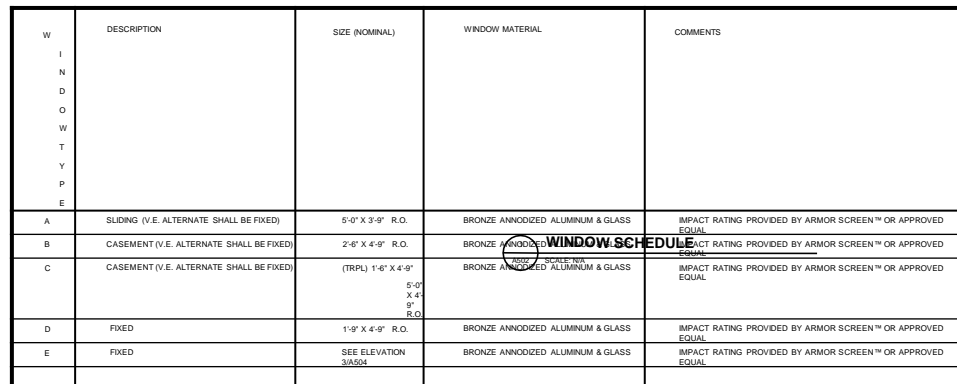


Date: 3/24/16
Dwg. By: JLF
Chk. By: ML
Revisions:

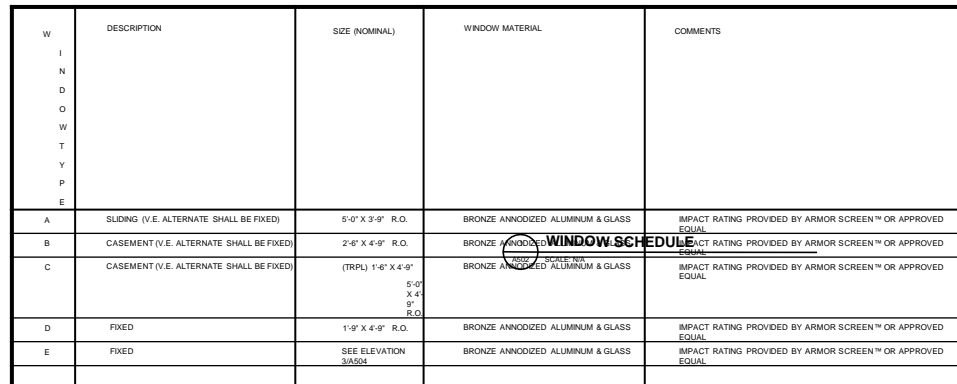
No.	Date	Description
1	01.05.16	SCHEMATIC DESIGN
2	07.18.16	SCHEMATIC SUBMITTAL
3	09.13.16	DEMOLITION
4	02.16.17	DESIGN/DEVT
5	03.08.17	PRICING
6	04.14.17	PERMIT CHECK SET
7	09.05.17	SC SUBMITTAL
8	09.18.17	CONSTRUCTION DOCUMENTS
9	01.02.18	FINAL DEMO (AFTER THE FACT)

Laplane Associates
Architecture
Interior Architecture
Kowalski, Ison, & Co.

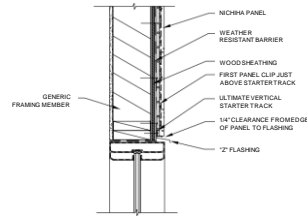
A501



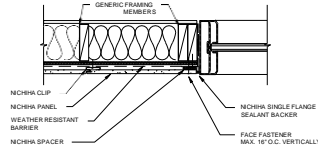
A502



A502



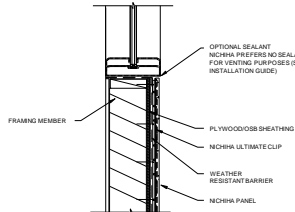
10MM - STANDARD AWP-3030 VERTICAL
WINDOW HEADER DETAIL - 710T
SCALE: 1/2\"/>



10MM - STANDARD 10\"/>

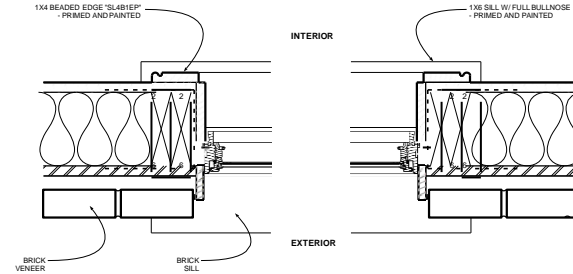
NOTES:

1. THIS CONCEPTUAL DETAIL IS A GUIDE FOR INSTALLATION OF NICHHA PRODUCTS. ARCHITECTS/ENGINEERS/CONTRACTORS ARE RESPONSIBLE FOR SUCCESSFUL APPLICATION WHICH DEPENDS UPON SUBSTRATE DESIGN AND CONSTRUCTION BUILT IN ACCORDANCE WITH BEST PRACTICES AND LOCAL BUILDING CODES.
2. FOR THIS APPLICATION ONLY USE NICHHA 10\"/>

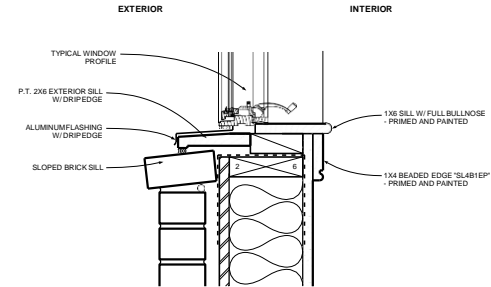
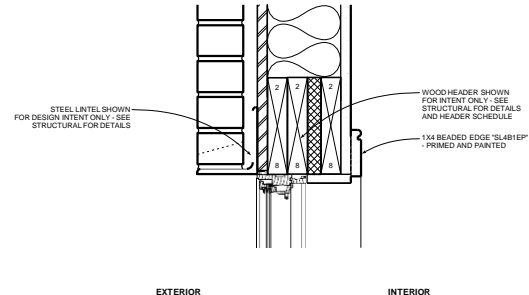


10 MM - STANDARD 10\"/>

3 WINDOW DETAILS FROM NICHHA™
A503 SCALE: NTS

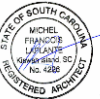


**2 WINDOW JAMB DETAILS
AT BRICK VENEER WALLS**
A503 SCALE: 3\"/>



**1 WINDOW HEAD AND SILL DETAILS
AT BRICK VENEER WALLS**
A503 SCALE: 3\"/>

HERD PROVISIONS
106 GROVE STREET
CHARLESTON, SOUTH CAROLINA 29403



Date	3/24/16	Joe No
Dwg By	JF	Chk By
Rev	5	0
No	Date	Description
①	01.05.16	SCHEMATIC DESIGN
②	07.18.16	2D SUBMITTAL
③	09.13.16	DEMOLITION
④	02.16.17	DESIGN DEVT
⑤	03.08.17	PRICING
⑥	04.14.17	PERMIT CHECK SET
⑦	09.05.17	PC SUBMITTAL
⑧	09.18.17	CONSTRUCTION DOCUMENTS
△	01.02.18	MMR DEMO (AFTER THE-FACT)

Laplanche Associates
Architecture
Interior Architecture
Kowach Island, SC

A503

Agenda Item 2:

3 Desportes Court - - TMS# 460-16-03-047

Request approval for demolition of residence.

Category 4- / Radcliffeborough / c.1875-85 / Old and Historic District

Deferred by Applicant

Agenda Item 3:

147 Spring Street - - TMS# 460-16-03-047

Request approval for partial demolition of rear addition

Category 4 / Cannonborough-Elliotborough / c.1890s /

Old City District



NOTES:

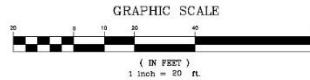
1. AREA DETERMINED BY COORDINATES.
2. THIS PROPERTY LIES IN FLOOD ZONE 'A' ELEVATION 13 AS SHOWN ON FEMA MAP 450100012 DATED 11-17-04.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCED PLATS AND DEEDS MAY NOT BE SHOWN ON THIS SURVEY.
- 4) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 5) DISTANCE SHOWN ON MAP ARE HORIZONTAL GROUND DISTANCES.
- 6) DATE OF FIELD SURVEY APRIL 2017.
- 7) THERE IS NO HOMEOWNERS OR PROPERTY OWNERS ASSOCIATION IN PLACE OR RULES THAT WILL PREVENT OR VIOLATE THE PLAT PUT FORTH.
- 8) HORIZONTAL DATUM IS NAD 83(2011) SC STATE PLANE COORDINATES. VERTICAL DATUM IS NGVD 29.
- 9) THERE ARE NO HARDWOOD TREES 24" DBH AND ABOVE LOCATED ON 147 SPRING STREET.

REFERENCES:

1. PLAT OF NO. 145 SPRING STREET DATED AUGUST 11, 2000 LAST REVISED SEPTEMBER 21, 2000 BY PALMETTO SURVEYING INC. AND RECORDED AT THE CHARLESTON COUNTY RMC IN PLAT BOOK DC PAGE 530.
2. DEED RECORDED AT THE CHARLESTON COUNTY RMC IN DEED BOOK 0414 PAGE 197.
3. BOUNDARY PLAT SHOWING TMS 460-11-04-155 DATED NOVEMBER 23, 2015 BY DAVIS AND FLOYD INC. AND RECORDED AT THE CHARLESTON COUNTY RMC IN PLAT BOOK S16 PAGE 0016.

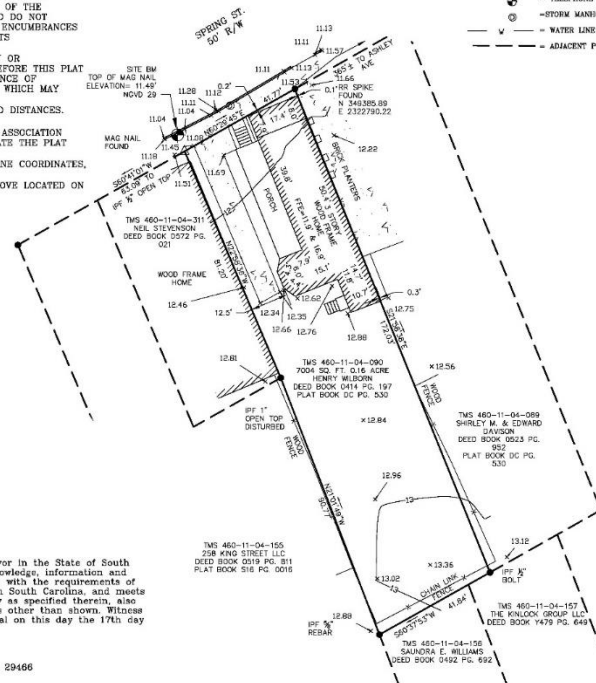
I, Matthew E. McBeath, a Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my knowledge, information and belief, the survey herein was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A Survey as specified therein, also there are no visible encroachments or projections other than shown. Witness my original signature and license number and seal on this day the 17th day of April 2017.

Matthew E. McBeath
Matthew E. McBeath
1500 Huxley Drive Mount Pleasant, South Carolina 29466
Telephone (843) 856-1277



LEGEND:

- IPS = IRON SET (5/8" REBAR UNLESS OTHERWISE NOTED)
- IFF = IRON FOUND (5/8" REBAR UNLESS OTHERWISE NOTED)
- CMP = CONCRETE MONUMENT FOUND
- = BORN
- = LIGHT POLE
- = FIRE HYDRANT
- = WATER VALVE
- = WATER METER
- = WATER WELL
- = SANITARY MANHOLE
- = POWER POLE
- = TELEPHONE PEDERSTAL
- = STORM MANHOLE
- = WATER LINE
- = ADJACENT PROPERTY LINE



DRAWN BY:
MEM
CHECKED BY:
MEM
DATE:
6-17-17
JOB # 17049
SCALE:
1"=20'

DATE	REVISION	BY

PREPARED FOR:
HENRY WILBORN

CHARLESTON COUNTY
SOUTH CAROLINA

147 SPRING STREET
CITY OF CHARLESTON
TMS 460-11-04-090

BOUNDARY/TOPOGRAPHIC SURVEY



EAST COOPER LAND SURVEYING, LLC

PROFESSIONAL LAND SURVEYORS
1500 HUXLEY DRIVE MOUNT PLEASANT, SOUTH CAROLINA 29466
OFFICE (843) 856-1277 E-MAIL ecsl@BELLSOUTH.NET

SHEET
1 OF 1



143 SPRING



145 SPRING



147 SPRING
FRONT LEFT



147 SPRING
FRONT



147 SPRING
FRONT RIGHT



149 SPRING



151 SPRING



152 SPRING
FRONT



150 SPRING
FRONT



148 SPRING
FRONT RIGHT

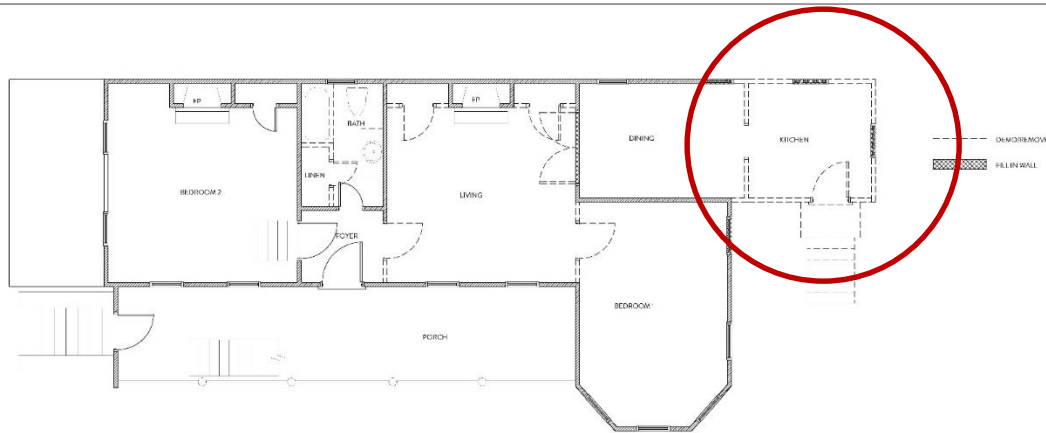
NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND

BYERS
collaborative
tanford@byerscoll.com

SEAL
PROJECT
147 SPRING
LOCATION
147 SPRING STREET CHARLESTON, SC
TITLE
EXISTING NEIGHBORHOOD CONDITIONS
SHEET
A-003
DATE PREPARED 02.12.17 CONCEPTUAL BAI

NOT FOR CONSTRUCTION

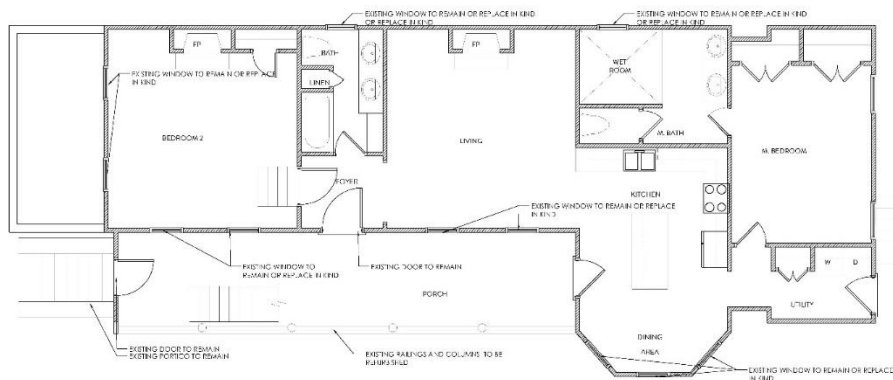
CONCEPTUAL BAI
02.12.17
02.12.17 CONCEPTUAL BAI



NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND.

1 EXISTING FIRST FLOOR PLAN / DEMO PLAN
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"

NORTH



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"

NORTH

BYERS
collaborative
santordabyerscoll.com

SEAL	
PROJECT	
147 SPRING	
LOCATION	147 SPRING STREET CHARLESTON, SC
TITLE	FIRST FLOOR PLAN
SHEET	A-101
DATE/PURPOSE	02.12.17/CONCEPTUAL BMR

NOT FOR CONSTRUCTION

THIS DOCUMENT IS THE PROPERTY OF BYERS COLLABORATIVE. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BYERS COLLABORATIVE.

Agenda Item 4:

147 Spring Street - - TMS# 460-16-03-047

Request conceptual approval for renovation of existing structure and new construction of rear addition.

**Category 4 / Cannonborough-Elliotborough / c.1890s /
Old City District**

147 SPRING STREET
CHARLESTON, SC

HENRY WILBORN

BYERS COLLABORATIVE
FOLLY BEACH, SC 29403
P: 843.814.8544

[illegible][illegible][illegible]

[illegible]

02.12.18	CONCEPTUAL BAR SUBMITTAL

S P A C E	
PROJECT	
147 SPRING	
LOCATION	
147 SPRING STREET CHARLESTON, SC	
TITLE	
INDEX	
SHEET	
A-000	
DATE: 11-18-2012 12:12:17 CONSTRUCTION, INC.	

NOT FOR CONSTRUCTION

[illegible]



NOTES:

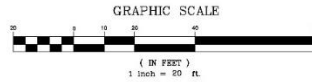
1. AREA DETERMINED BY COORDINATES.
2. THIS PROPERTY LIES IN FLOOD ZONE 'A' ELEVATION 13 AS SHOWN ON FEMA MAP 4501000012 DATED 11-17-04.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCED PLATS AND DEEDS MAY NOT BE SHOWN ON THIS SURVEY.
- 4) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 5) DISTANCE SHOWN ON MAP ARE HORIZONTAL GROUND DISTANCES.
- 6) DATE OF FIELD SURVEY APRIL 2017.
- 7) THERE IS NO HOMEOWNERS OR PROPERTY OWNERS ASSOCIATION IN PLACE OR RULES THAT WILL PREVENT OR VIOLATE THE PLAT PUT FORTH.
- 8) HORIZONTAL DATUM IS NAD 83(2011) SC STATE PLANE COORDINATES. VERTICAL DATUM IS NGVD 29.
- 9) THERE ARE NO HARDWOOD TREES 24" DBH AND ABOVE LOCATED ON 147 SPRING STREET.

REFERENCES:

1. PLAT OF NO. 145 SPRING STREET DATED AUGUST 11, 2000 LAST REVISED SEPTEMBER 21, 2000 BY PALMETTO SURVEYING INC. AND RECORDED AT THE CHARLESTON COUNTY RMC IN PLAT BOOK DC PAGE 530.
2. DEED RECORDED AT THE CHARLESTON COUNTY RMC IN DEED BOOK 0414 PAGE 197.
3. BOUNDARY PLAT SHOWING TMS#460-11-04-155 DATED NOVEMBER 23, 2015 BY DAVIS AND FLOYD INC. AND RECORDED AT THE CHARLESTON COUNTY RMC IN PLAT BOOK S16 PAGE 0016.

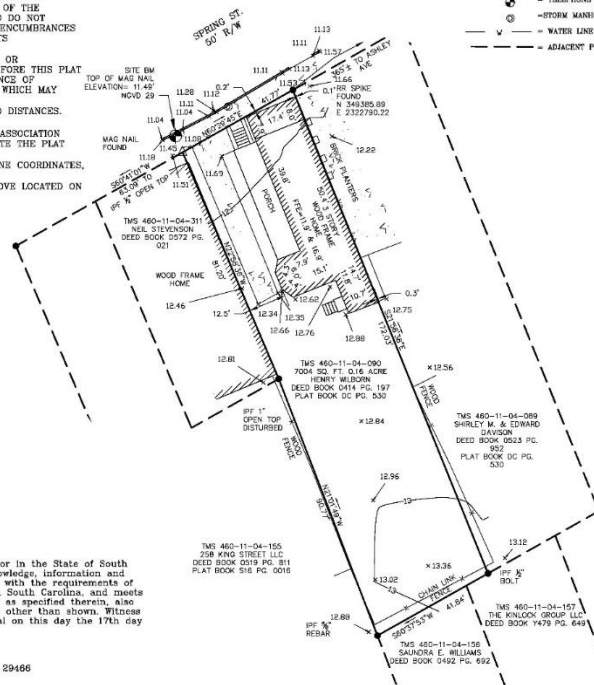
I, Matthew E. McBeath, a Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my knowledge, information and belief, the survey herein was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A Survey as specified therein, also there are no visible encroachments or projections other than shown. Witness my original signature and license number and seal on this day the 17th day of April 2017.

Matthew E. McBeath
Matthew E. McBeath
1500 Huxley Drive Mount Pleasant, South Carolina 29466
Telephone (843) 856-1277



LEGEND:

- IPS = IRON SET (5/8" REBAR UNLESS OTHERWISE NOTED)
- IFF = IRON FOUND (5/8" REBAR UNLESS OTHERWISE NOTED)
- CMP = CONCRETE MONUMENT FOUND
- = BORN
- = LIGHT POLE
- = FIRE HYDRANT
- = WATER VALVE
- = WATER METER
- = WATER WELL
- = SANITARY MANHOLE
- = POWER POLE
- = TELEPHONE PEDERSTAL
- = STORM MANHOLE
- = WATER LINE
- = ADJACENT PROPERTY LINE





143 SPRING



145 SPRING



147 SPRING
FRONT LEFT



147 SPRING
FRONT



147 SPRING
FRONT RIGHT



149 SPRING



151 SPRING



152 SPRING
FRONT



150 SPRING
FRONT



148 SPRING
FRONT RIGHT

NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND

BYERS
collaborative
tanford@byerscoll.com

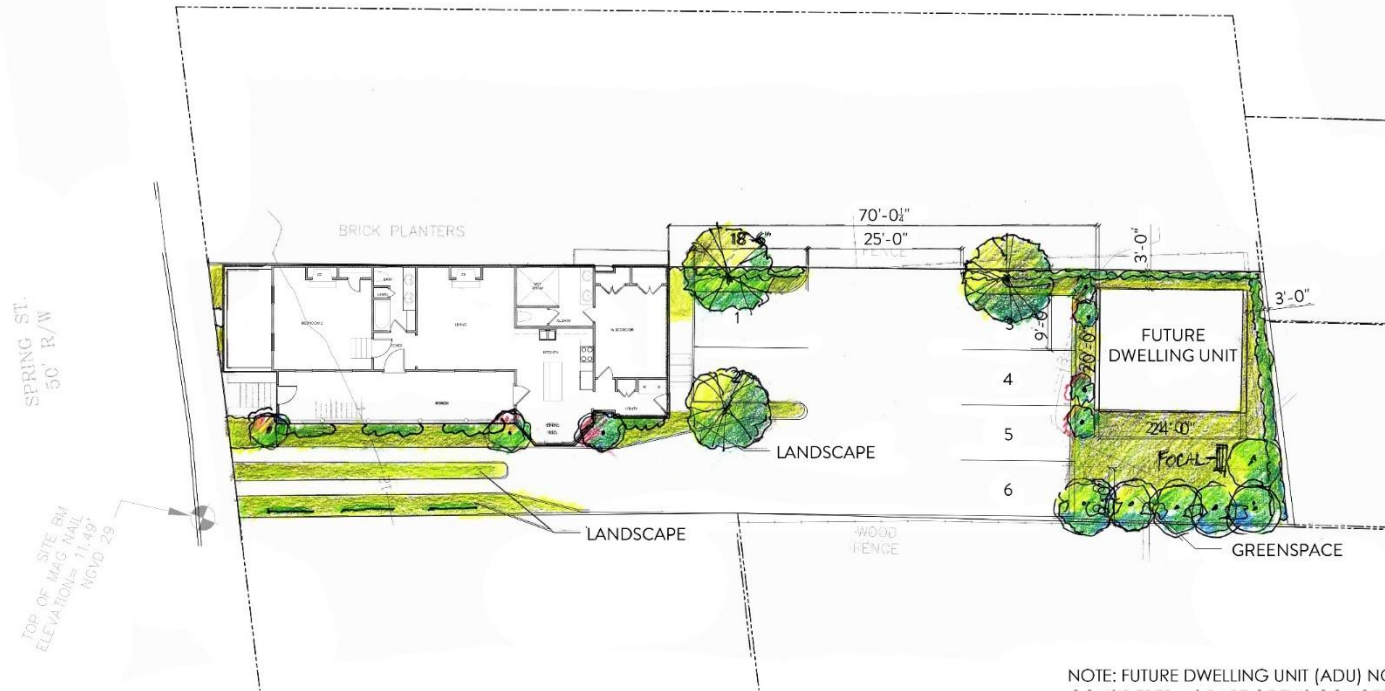
SEAL
PROJECT
147 SPRING
LOCATION
147 SPRING STREET CHARLESTON, SC
TITLE
EXISTING NEIGHBORHOOD CONDITIONS
SHEET
A-003
DATE PREPARED 02.12.17 CONCEPTUAL BAI

NOT FOR CONSTRUCTION

CONCEPTUAL BAI
02.12.17
02.12.17 CONCEPTUAL BAI

NOTE: FUTURE DWELLING UNIT (ADU) NOT TO BE CONSIDERED AS PART OF THIS CONCEPTUAL APPROVAL. SHOWN FOR INFORMATION PURPOSES ONLY AND WILL BE RESUBMITTED AS A SEPARATE APPLICATION AT A LATER DATE.

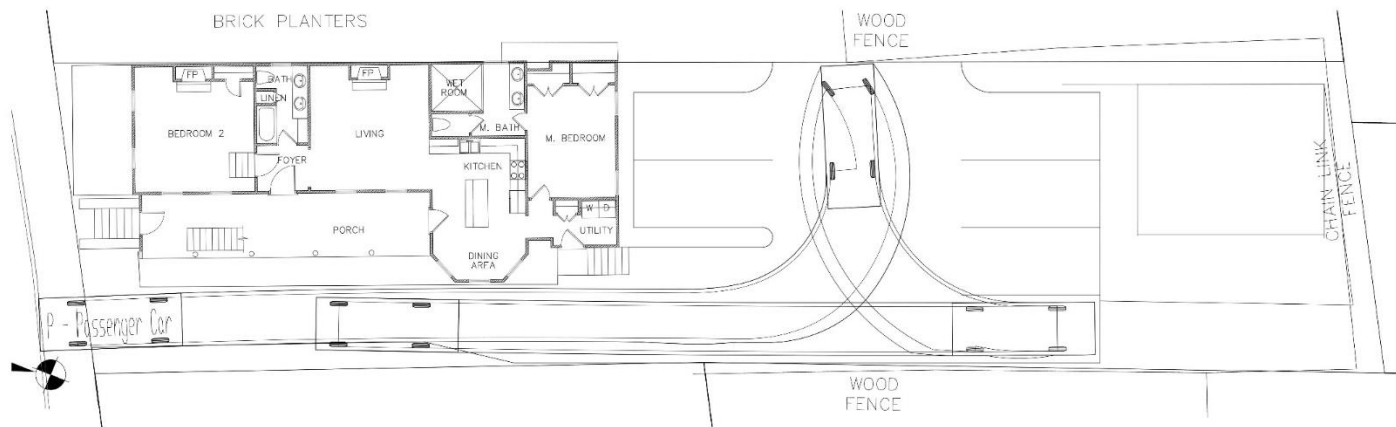
NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED. NEW WILL BE IN KIND.

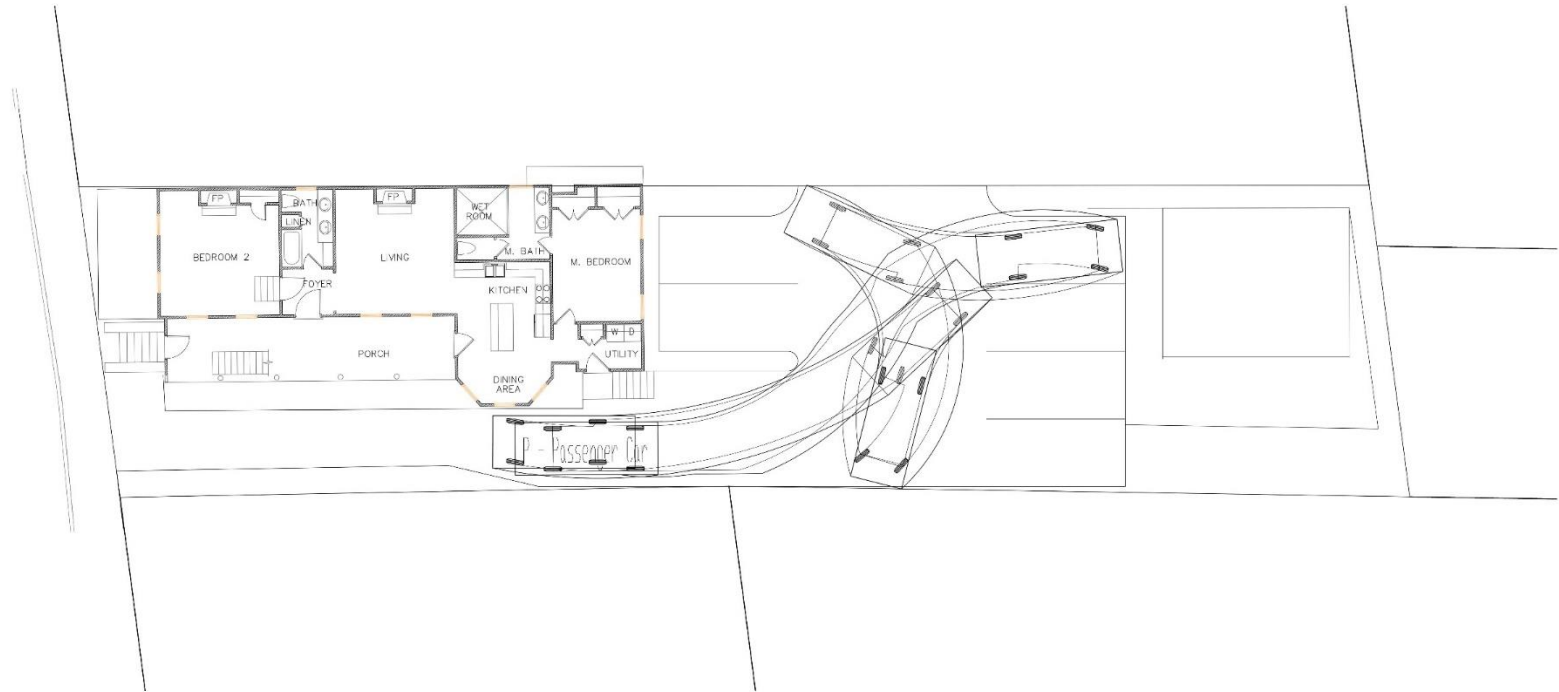


BYERS
collaborative
sanford@byerscol.com

SCALE
PROJECT
147 SPRING
LOCATION
147 SPRING STREET CHARLESTON, SC
TITLE
SITE PLAN
SHEET
L-100
DATE PURPOSE
02.12.17 CONCEPTUAL BAR

NOT FOR CONSTRUCTION







BYERS
collaborative
sanford@byerscol.com

NORTH

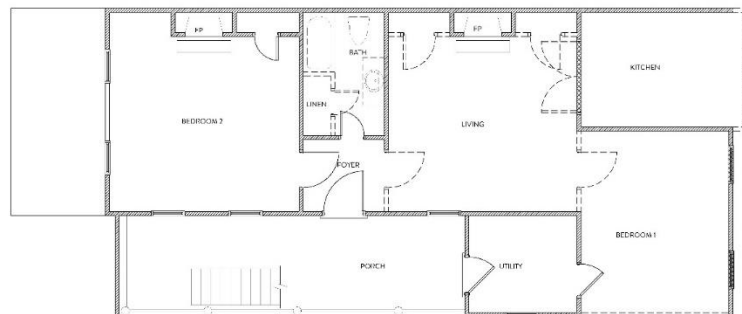


NORTH

THESE RESEARCH RESULTS WERE PRESENTED AT THE 1998 ANNUAL MEETING OF THE AMERICAN SOCIETY OF CLIMATE ENGINEERS, 1-4 DECEMBER 1998, IN WASHINGTON, D.C. THE RESEARCH WAS SUPPORTED BY THE NATIONAL AERONAUTICS AND SPACE ADMINISTRATION (NASA) THROUGH THE CLIMATE MONITORING AND DATA INTERPRETATION PROGRAM (CMDIP) AT THE NASA GISS, AND BY THE NATIONAL SCIENCE FOUNDATION (NSF) THROUGH THE ATMOSPHERIC SCIENCES PROGRAM (ASP).

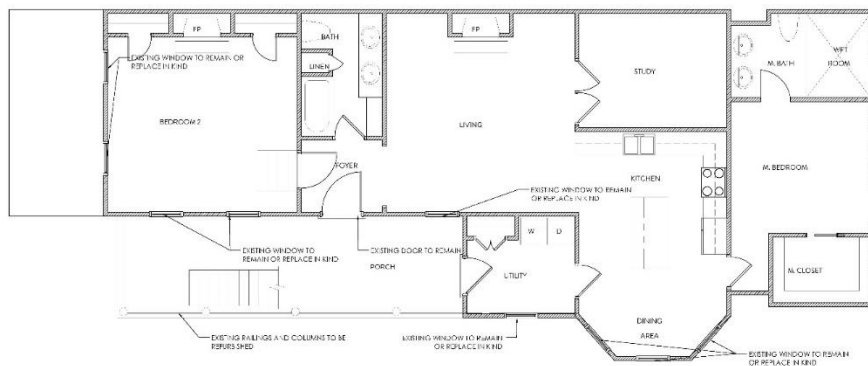
SEAL
PROJECT
147 SPRING
LOCATION
147 SPRING STREET CHARLESTON, SC
TITLE
FIRST FLOOR PLAN
SHEET
A-101
DATE: 02.12.17
DRAWN BY: J. ROSE
CHECKED BY: J. ROSE
DATE: 02.12.17
SCALE: 1/8" = 1'-0"

BYERS
collaborative
sanford@byerscal.com



 DEMO-REMOVE
 FILL IN WALL

NORTH



NORTH

NOT FOR CONSTRUCTION

[illegible]

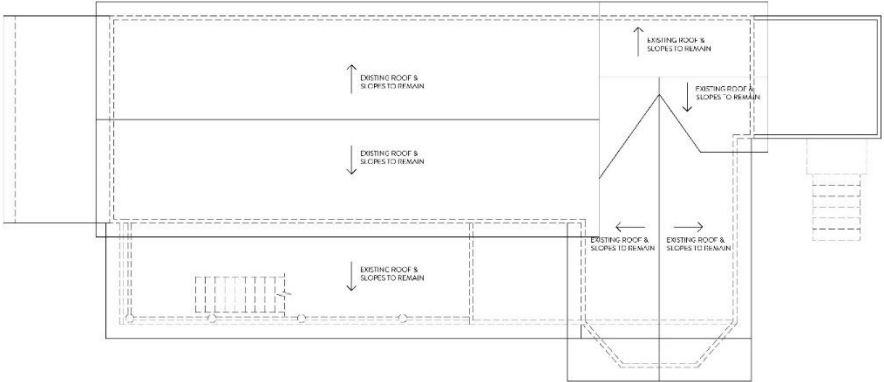
147 SPRING STREET
CHARLESTON, SC

FLOOR PLAN

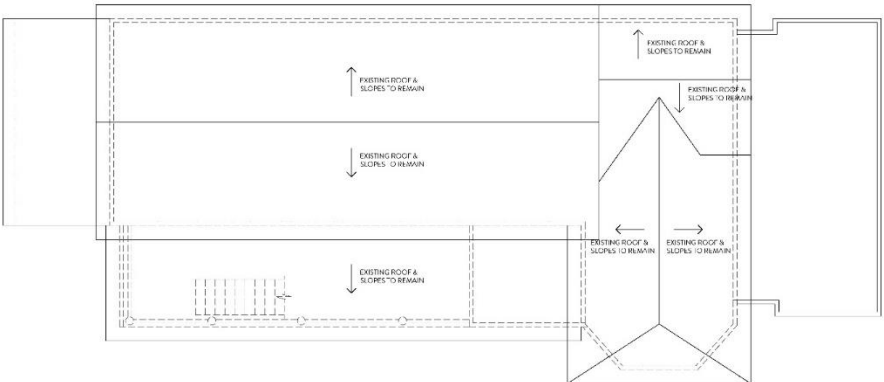
S	F	E	E
---	---	---	---

A-102

DATE	PURPOSE
02.12.17	CONCEPTUAL BARRIERS



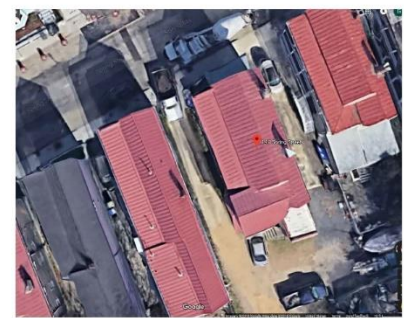
1 EXISTING ROOF PLAN
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



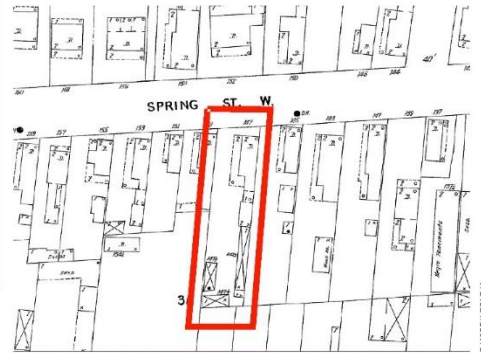
2 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND



3 EXISTING ROOF AERIAL
NTS



4 1902 SANBORN MAP
NTS

BYERS
collaborative
sanior@byerscoll.com

147 SPRING	LOCATION
147 SPRING STREET	147 SPRING STREET
CHARLESTON, SC	CHARLESTON, SC
ROOF PLANS	ROOF PLANS
A-103	A-103
02.12.17 CONCEPTUAL BAR	02.12.17 CONCEPTUAL BAR

NOT FOR CONSTRUCTION



1 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



2 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



3 EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



4 PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"

NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND



5 FRONT CONDITION IMAGES
NTS



6 REAR CONDITION IMAGES
NTS

BYERS
collaborative
senior@byerscoll.com

147 SPRING

LOCATION
147 SPRING STREET
CHARLESTON, SC

ELEVATIONS

A-201

DATE PREPARED
02.12.17 (CONCEPTUAL BAR)

NOT FOR CONSTRUCTION



1 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"

NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND



3 EXISTING RIGHT SIDE CONDITIONS
NTS

BYERS
collaborative
senior@byerscoll.com

1 4 7 S P R I N G

LOCATION
147 SPRING STREET
CHARLESTON, SC

ELEVATIONS

A-202

DATE: 02.12.17
CONCEPTUAL BAR

NOT FOR CONSTRUCTION

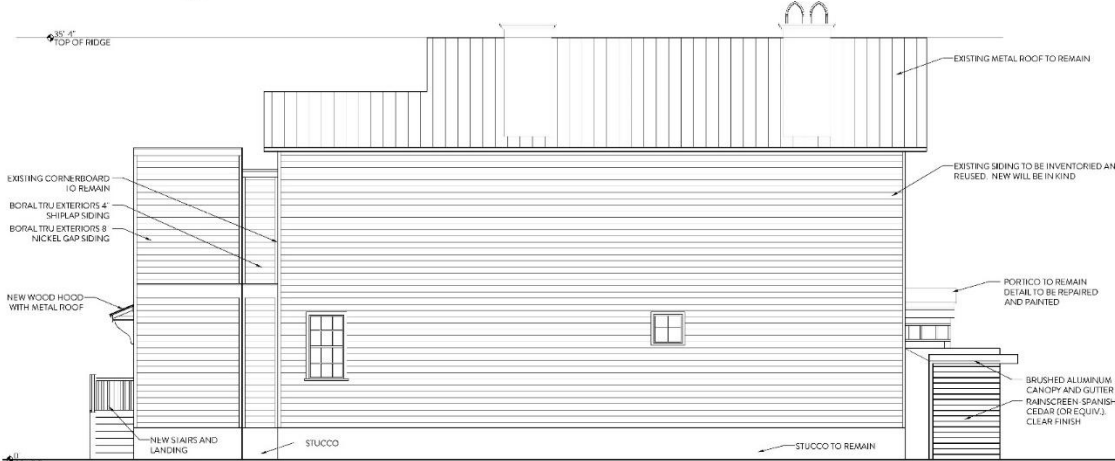
NOTE: ALL ROOFING MATERIAL, SIDING, COLUMNS, RAILINGS, WINDOWS, DOORS, AND TRIM WILL BE INVENTORIED. ALL DETERMINED TO BE IN SATISFACTORY CONDITION WILL BE REUSED, NEW WILL BE IN KIND



3 EXISTING LEFT SIDE CONDITIONS



1 EXISTING LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"



2 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0" @ 22"x34" OR 1/8"=1'-0" @ 11"x17"

NOT FOR CONSTRUCTION

Agenda Item 5:

19 King Street - - TMS#457-16-01-029

Request approval for demolition of rear accessory structure.

Category 2 / Charlestowne / post-1955 / Old and Historic District

Deferred by Staff

Agenda Item 6:

19 King Street - - TMS#457-16-01-029

Request conceptual approval for new construction of rear addition.

Category 2 / Charlestowne / post-1955 / Old and Historic District

Deferred by Staff

Agenda Item 7:

360 King Street - - TMS#457-04-02-018

Request conceptual approval for renovation of storefronts.

Category 3 / n/a / pre-1884 / Old and Historic District



SUBMISSION DATE: 2/12/2018
MEETING DATE: 2/22/2018

DRAWING LIST

A001	COVER SHEET
A002	EXISTING PHOTOS
A003	EXISTING PHOTOS
A004	EXISTING PHOTOS
A005	SAFETY MAPS
A100	SITE PLAN
A101	FIRST FLOOR PLAN
A201	EXTERIOR ELEVATIONS - WEST
A202	EXTERIOR ELEVATIONS - NORTH
A202A	UNENLARGED EXTERIOR ELEVATIONS - NORTH
A202B	UNENLARGED EXTERIOR ELEVATIONS - NORTH
A202C	UNENLARGED EXTERIOR ELEVATIONS - NORTH
A202D	ENLARGED EXTERIOR ELEVATIONS - NORTH
A301	EXTERIOR ELEVATIONS - EAST
A302	ENLARGED ELEVATIONS AND WALL SECTIONS
A401	PERIMETER



1) BURNS LANE EXISTING NORTH FACADE



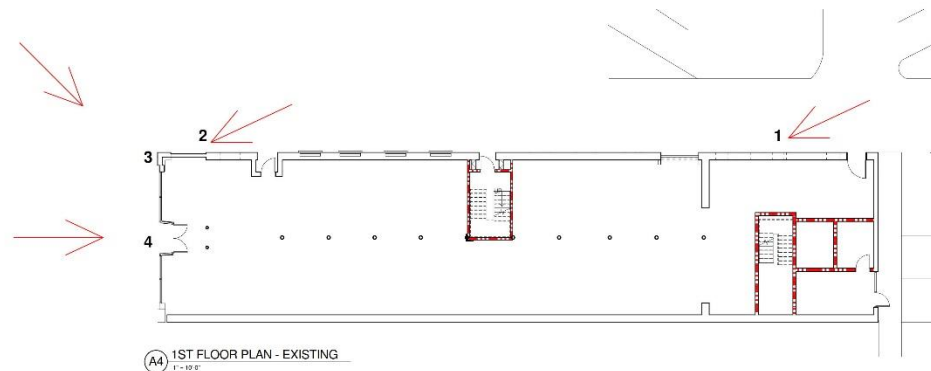
2) BURNS LANE STOREFRONT



3) WEST AND NORTH FACADE OF EXISTING BUILDING FROM BURNS LANE AND KING STREET



4) WEST STOREFRONT FACADE OF EXISTING BUILDING FROM KING STREET





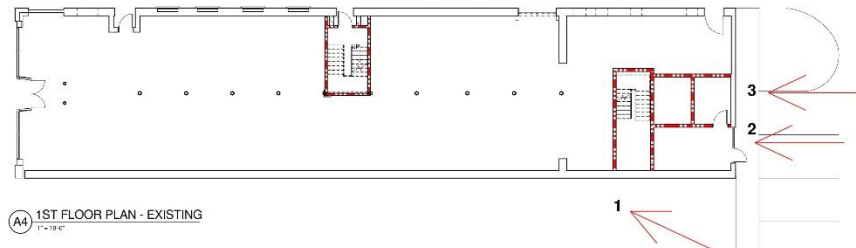
1) SOUTH EXISTING FACADE



2) EAST EXISTING STOREFRONT



3) EAST EXISTING FACADE

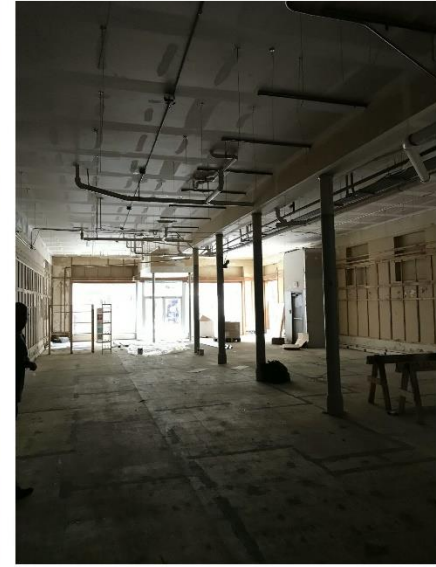




1) EAST FACADE INTERIOR



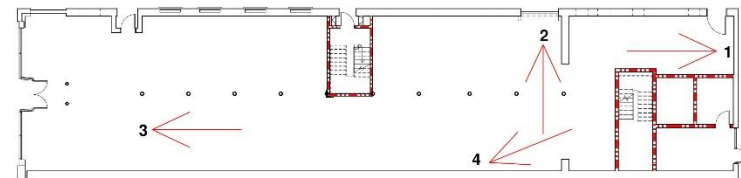
2) NORTH FACADE DOOR



3) WEST FACADE INTERIOR



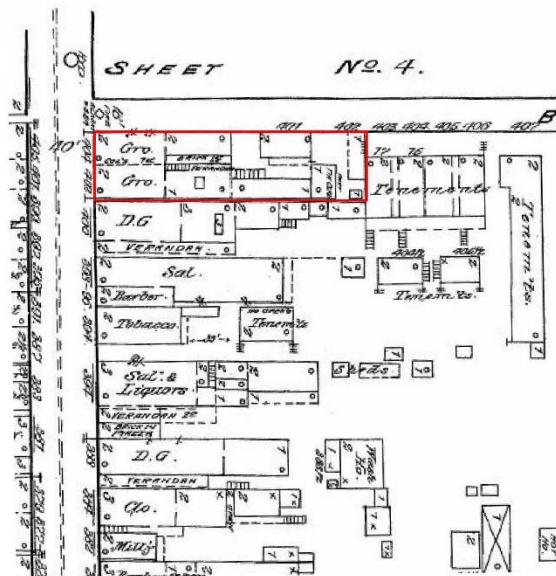
4) SOUTH FACADE INTERIOR



A4 1ST FLOOR PLAN - EXISTING
1" = 12'

1884

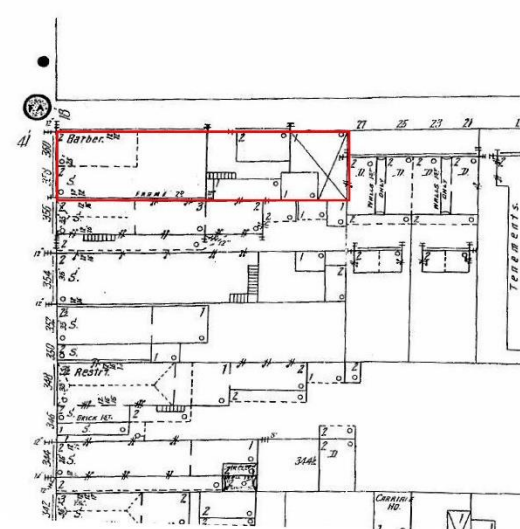
2 STORY GROCERY WITH
RESIDENCES IN THE
BACK



43

1902

2 STORY BARBER WITH
RESIDENCES IN THE
BACK



1943

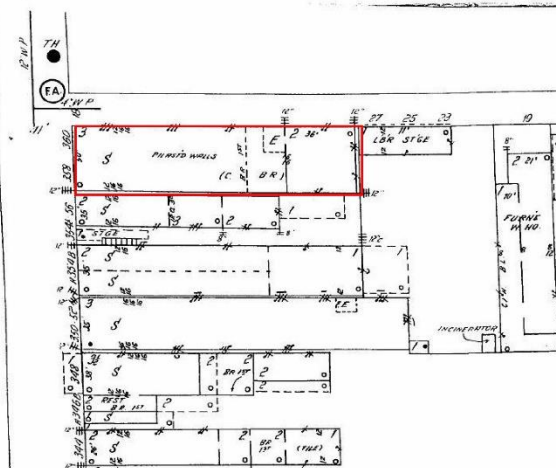
3 STORY BUILDING WITH
2 STORIES IN THE REAR

CHARLESTON, S.C. VOL. I.

43

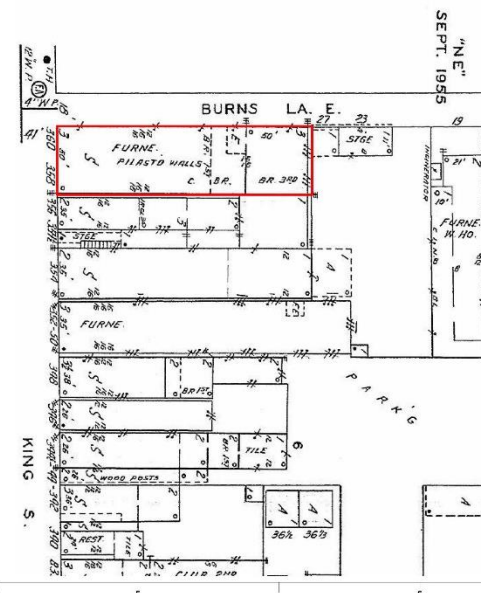
"R"
MAR. 1943

41



1955

3 STORY BUILDING



CHARLESTON
CONNECTION
GROUP

360 KING

LS3P

360 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL. 843.774.6664 FAX 843.774.6708
WWW.LS3P.COM

WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT © 2016 ALL RIGHTS RESERVED
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No. Description Date

PROJECT: 1300-116400
DATE: FEBRUARY 7, 2017
DRAWN BY: KB
CHECKED BY: SR

SANBORN
MAPS

A-005

CONCEPTUAL BAR



WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT © 2016 ALL RIGHTS RESERVED
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 130-119630
DATE: FEBRUARY 7, 2017
DRAWN BY: JD
CHECKED BY: SR

ARCHITECTURAL
SITE PLAN

A-100

A1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 130-11640
DATE: FEBRUARY 7, 2017
DRAWN BY: KB
CHECKED BY: SR

EXTERIOR
ELEVATIONS -
WEST

A-201

CONCEPTUAL BAR



B1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



B4 WEST ELEVATION - NEW WORK
1/4" = 1'-0"

EXISTING ELEVATION AND DEMOLITION NOTES

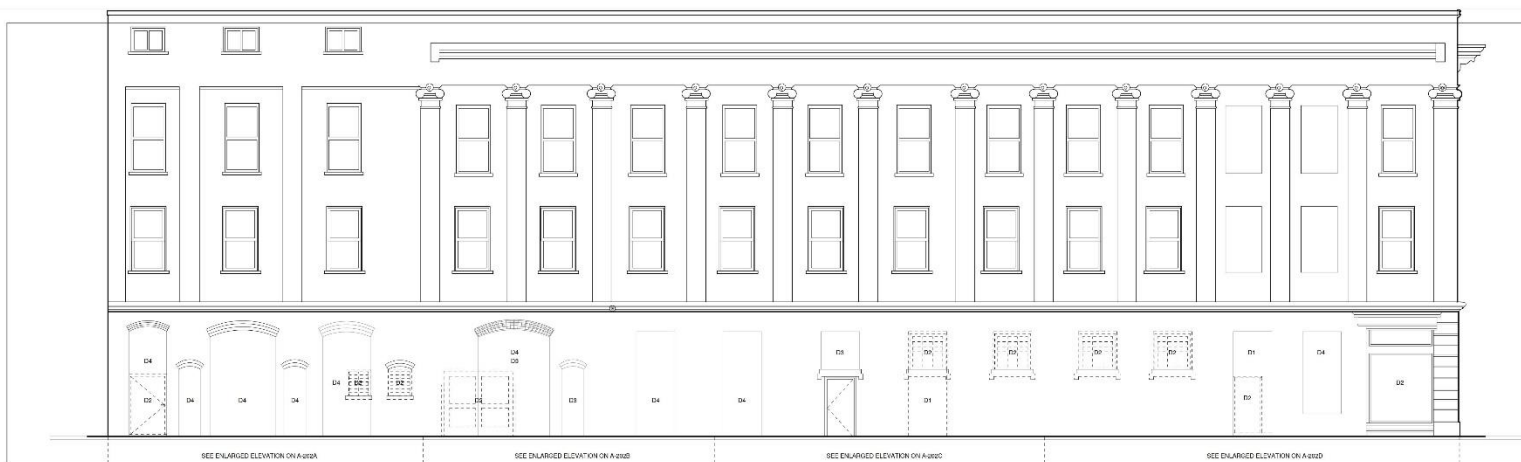
- D1: DEMO WALL AND PREPARE FOR NEW OPENING
- D2: REMOVE EXISTING WINDOW OR DOOR SYSTEM AND PREPARE FOR NEW OPENING
- D3: PREVIOUS OPENING WAS FILL WITH BRICK
- D4: REMOVE EXISTING BRICK WITHIN OPENING AND PREPARE FOR NEW OPENING

NEW ELEVATION NOTES

1. INSTALL NEW WOOD WINDOW SYSTEM WITH INELL WALL AND FINISHING
2. INSTALL NEW BRICK CORNER WITH GLASS CORNER
3. INSTALL NEW IMPACT PATTERNED WOOD WINDOW, IPS FINISH, INSTALL NEW LIMESTONE WINDOW SILL
4. INSTALL NEW IMPACT PATTERNED WOOD DOOR WITH TRANSOM
5. INSTALL NEW IMPACT PATTERNED WOOD WINDOW SYSTEM
6. FINISH CORNER TO MATCH
7. INSTALL NEW ALUMINUM CANOPY TO MATCH EXISTING
8. FILL OPENING WITH BRICK



(D1) NEW NORTH ELEVATION
3/8" = 1'-0"



(B1) EXISTING NORTH ELEVATION
3/8" = 1'-0"

EXISTING ELEVATION AND DEMOLITION NOTES

01. DEMO WALL AND PREPARE FOR NEW OPENING
02. REMOVE EXISTING WINDOW OR DOOR SYSTEM AND PREPARE FOR NEW OPENING
03. PREVIOUS OPENING HAS BEEN FILLED WITH BRICK
04. REMOVE EXISTING BRICK WITHIN OPENING AND PREPARE FOR NEW OPENING

NEW ELEVATION NOTES

1. INSTALL NEW WOOD WINDOW SYSTEM WITH SHUTTER WALL AND PAINTLINE
2. INSTALL TO BE SHUTTER WITH CLIP COAT
3. INSTALL NEW IMPACT PAINTED WOOD WINDOW WITH FINISH PAINT ALL NEW
4. INSTALL NEW IMPACT PAINTED WOOD WINDOW WITH FINISH
5. INSTALL NEW IMPACT PAINTED WOOD WINDOW SYSTEM
6. INSTALL NEW ALUMINUM CANOPY TO MATCH EXISTING
7. FINISH WITH BRICK

DEMOLITION SHEET NOTES

- D1 DEMO WALL AND PREPARE FOR NEW OPENING
- D2 REMOVE EXISTING WINDOW ON DOOR SYSTEM AND PREPARE FOR NEW OPENING
- D3 PREVIOUS OPENING HAS BEEN FILLED WITH BRICK
- D4 REMOVE EXISTING BRICK WITH IN OPENING AND PREPARE FOR NEW OPENING

CHARLESTON
CONNECTION
GROUP

360 KING

LS3P

305 13 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL: 843.577.4564 FAX: 843.742.4758
WWW.LS3P.COM

WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT © 2016 ALL RIGHTS RESERVED
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

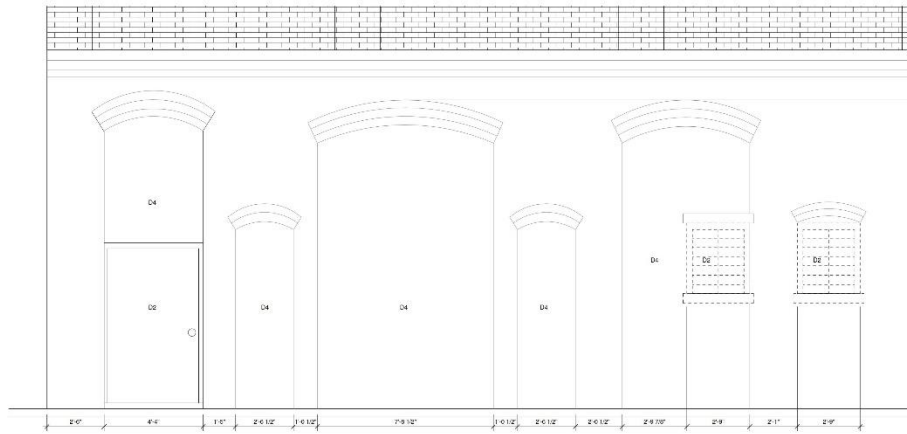
No.	Description	Date
-----	-------------	------

PROJECT: 1303-115640
DATE: FEBRUARY 7, 2017
DRAWN BY: KB
CHECKED BY: DR

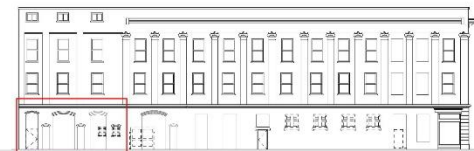
EXTERIOR
ELEVATIONS -
EXISTING
NORTH A

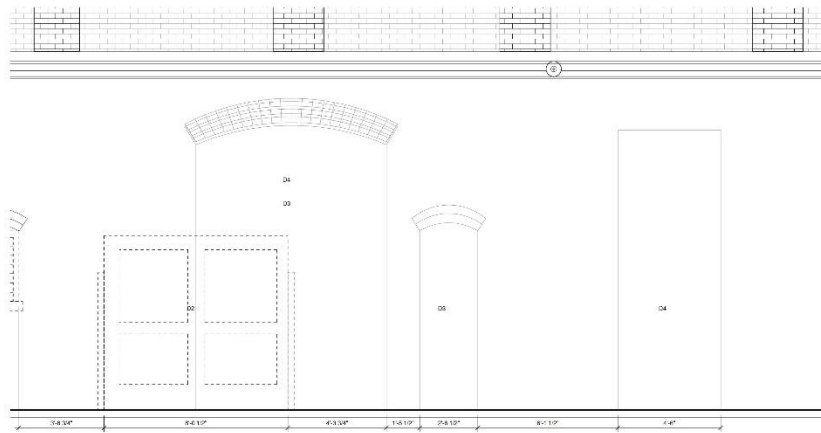
A-202A

CONCEPTUAL BAR

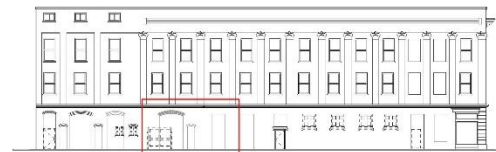


C2 EXISTING NORTH ELEVATION - AREA A
1/2" = 1'-0"





(C2) EXISTING NORTH ELEVATION - AREA B
1/8\"/>



DEMOLITION SHEET NOTES

- D1: BUILD WALL AND PREPARE FOR NEW OPENING
- D2: REMOVE EXISTING WINDOW OR DOOR SYSTEM AND PREPARE FOR NEW OPENING
- D3: PREVIOUS OPENING HAS BEEN FILLED WITH BRICK
- D4: BRICKWORK EXISTING WITHIN OPENING AND PREPARE FOR NEW OPENING

CHARLESTON
CONNECTION
GROUP

360 KING

LS3P

305 13 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL: 843.577.4864 FAX: 843.577.4758
WWW.LS3P.COM

WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT: 2016. ALL RIGHTS RESERVED.
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

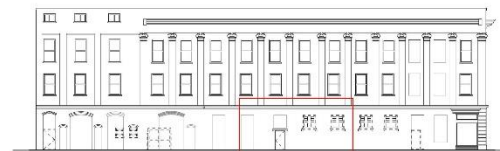
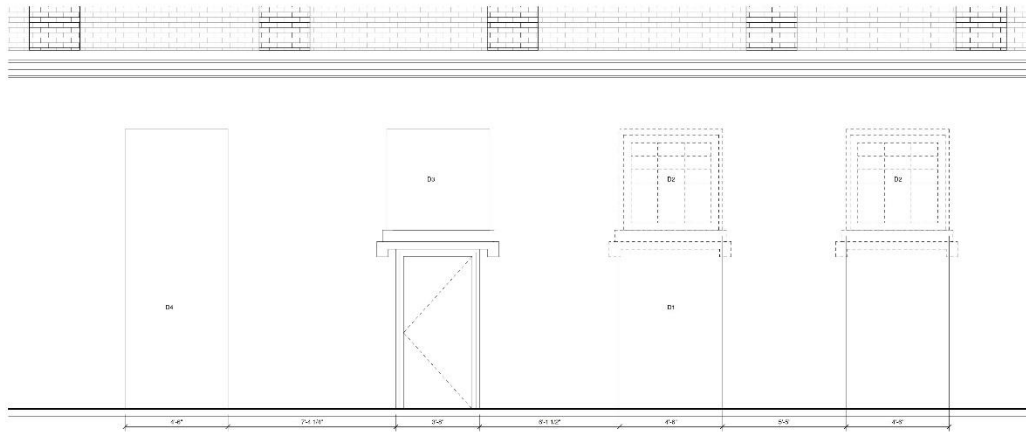
REVISIONS:		
No.	Description	Date

PROJECT: 1303-17640
DATE: FEBRUARY 7, 2017
DRAWN BY: KB
CHECKED BY: DR

EXTERIOR
ELEVATIONS -
EXISTING
NORTH B

A-202B

CONCEPTUAL BAR



DEMOLITION SHEET NOTES

- D1: DEMOLISH WALL AND PREPARE FOR NEW OPENING
- D2: REMOVE EXISTING WINDOW OR DOOR SYSTEM AND PREPARE FOR NEW OPENING
- D3: PREVIOUS OPENING HAS BEEN FILLED WITH BRICK
- D4: FINISHUP EXISTING BRICK WITHIN OPENING AND PREPARE FOR NEW OPENING

CHARLESTON
CONNECTION
GROUP

360 KING

LS3P

305 13 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL: 843.577.4864 FAX: 843.742.4788
WWW.LS3P.COM

WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT © 2016 ALL RIGHTS RESERVED
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 1303-115640
DATE: FEBRUARY 7, 2017
DRAWN BY: KB
CHECKED BY: DR

EXTERIOR
ELEVATIONS -
EXISTING
NORTH C

A-202C

CONCEPTUAL BAR

REVISIONS:

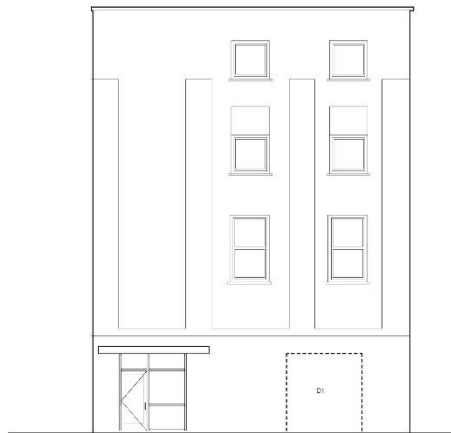
No.	Description	Date
-----	-------------	------

PROJECT: 1300-13600
DATE: FEBRUARY 7, 2017
DRAWN BY: AB
CHECKED BY: SR

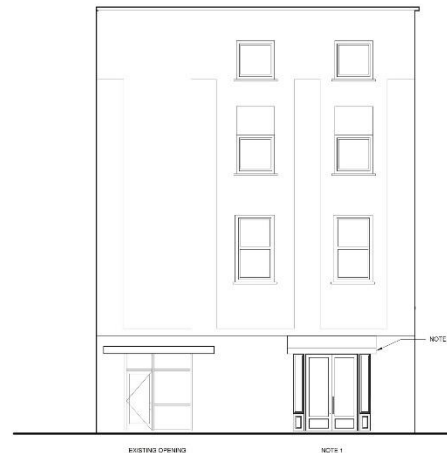
EXTERIOR
ELEVATIONS -
EAST

A-203

CONCEPTUAL BAR



C1 EAST ELEVATION - EXISTING
3/16" = 1'-0"



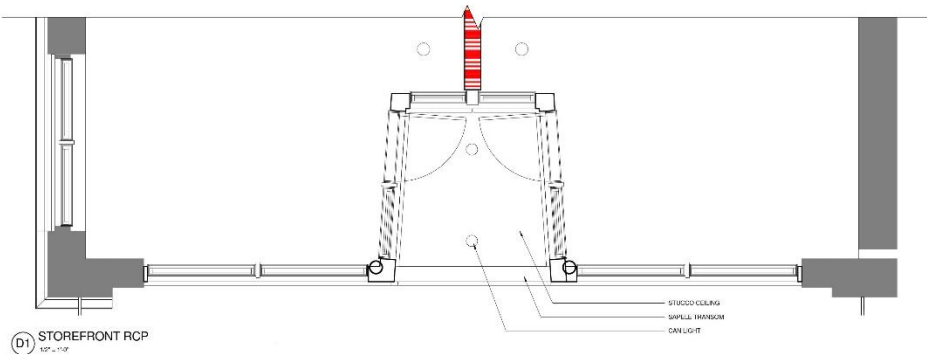
C4 EAST ELEVATION - NEW WORK
3/16" = 1'-0"

EXISTING ELEVATION AND DEMOLITION NOTES

- EXIST WALL AND PREPARE FOR NEW OPENING
- REMOVE EXISTING WINDOW OR DOOR SYSTEM AND PREPARE FOR NEW OPENING
- PREVIOUS OPENING HAS BEEN FILLED WITH BRICK
- REMOVE EXISTING BRICK WITHIN OPENING AND PREPARE FOR NEW OPENING

NEW ELEVATION NOTES

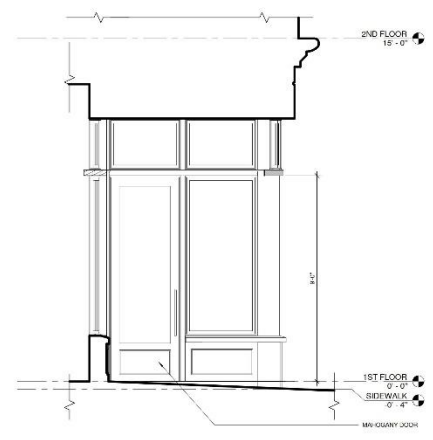
- INSTALL NEW WOOD WINDOW SYSTEM WITH KILL WALL AND PANELING; MATERIAL TO BE MATCHED WITH EXISTING
- INSTALL NEW IMPACT-PAINTED WOOD WINDOW, IPD FINISH; INSTALL NEW LIMESTONE WINDOW SILL
- INSTALL NEW IMPACT-PAINTED WOOD DOOR WITH TRANSOM
- INSTALL NEW IMPACT-PAINTED WOOD WINDOW SYSTEM
- INSTALL NEW ALUMINUM CANOPY TO MATCH EXISTING
- FILL OPENING WITH BRICK



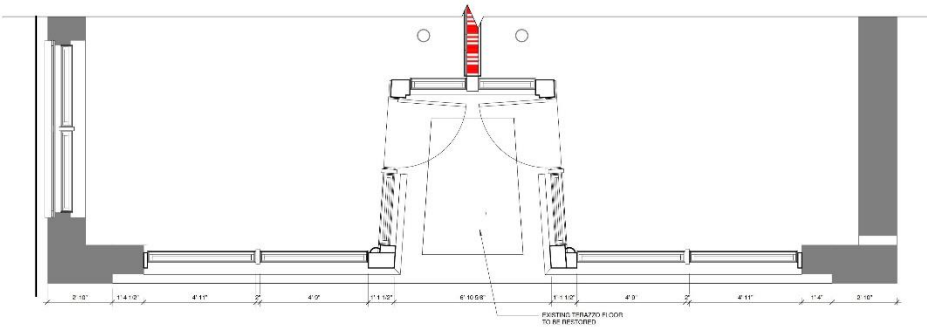
D1 STOREFRONT RCP
1/2" = 1'-0"



C1 STOREFRONT ENLARGED ELEVATION
1/2" = 1'-0"



C5 STOREFRONT SECTION @ RECESSED ENTRY
1/2" = 1'-0"



A1 STOREFRONT ENLARGED PLAN
1/2" = 1'-0"



WINNERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2016. ALL RIGHTS RESERVED.
PRINTED ON ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 130-11640
DATE: FEBRUARY 7, 2017
DRAWN BY: RB
CHECKED BY: DR

RENDERING

A-901



EXISTING



PROPOSED

Agenda Item 8:

540 King Street - - TMS#460-08-04-062

Request conceptual approval for new construction of a 3-story mixed use building.

n/a / Old and Historic District



540 KING STREET
Vanderking, LLC

VIEW FROM CORNER OF KING AND CANNON

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/12/15 10:03:35 AM



540 KING STREET
Vanderking, LLC

VIEW FROM KING STREET FACING EAST

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/11/11 10:01:13 AM



540 KING STREET
Vanderking, LLC

VIEW FROM KING STREET FACING NORTH

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

20200112-100013.AVR



540 KING STREET
Vanderking, LLC

VIEW FROM CORNER OF KING AND REID

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/12/15 10:03:11 AM



540 KING STREET
Vanderking, LLC

VIEW FROM WOLFE STREET

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

20200112 11:02:14 AM



PHOTO MONTAGE EAST SIDE OF KING STREET



PHOTO MONTAGE WEST SIDE OF KING STREET

540 KING STREET
Vanderking, LLC

STREETSCAPE PHOTOS

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2806712-1100233.AW



540 KING STREET
Vanderking, LLC

SITE PHOTOS

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2/26/2015 1:00:15 AM



SITE LOOKING WEST



SITE LOOKING EAST



LOOKING NORTH FROM WOLFE STREET



SITE LOOKING EAST

540 KING STREET
Vanderking, LLC

CONTEXT PHOTOS

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

28/07/15 11:00:27 AM



VIEW DOWN WOOLFE STREET



SOUTH SIDE OF WOOLFE STREET



VIEW FROM INTERSECTION OF KING & WOOLFE



540 KING STREET
Vanderking, LLC

CONTEXT PHOTOS

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

28/07/2015 11:00:31 AM



1 STREETSCAPE ELEVATION- KING STREET EAST SIDE
1/8" = 1'-0"



2 STREETSCAPE ELEVATION- KING STREET WEST SIDE
1/8" = 1'-0"

540 KING STREET
 Vanderking, LLC

STREETSCAPE- KING STREET

the
MIDDLETONGROUP
 ARCHITECTURE STUDIO

20200712 11:50:30 AM



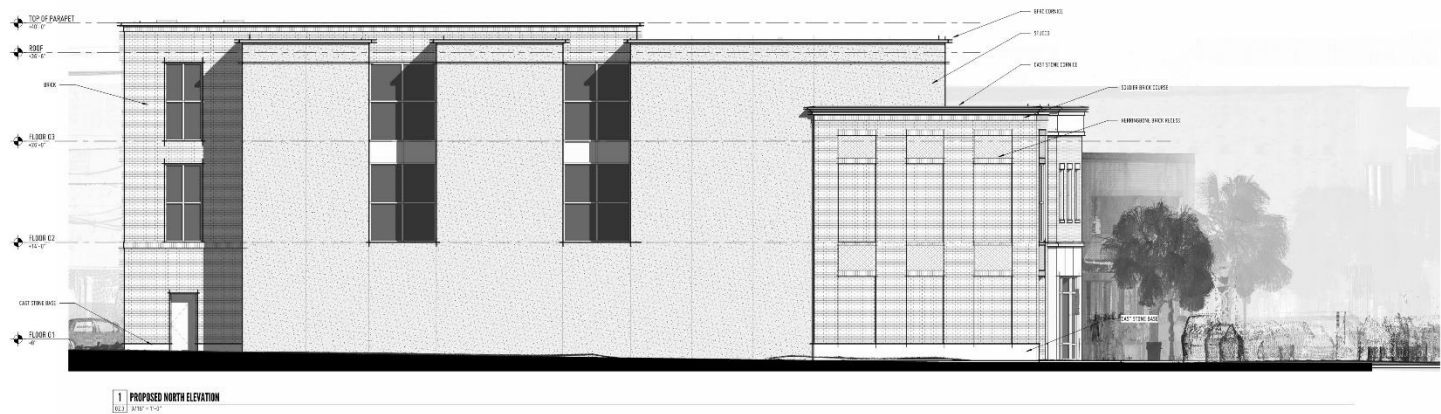
1 PROPOSED WEST ELEVATION
1/8" = 1'-0"

540 KING STREET
Vanderking, LLC

EXTERIOR ELEVATION- WEST

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

20240112 13:28:26 AM

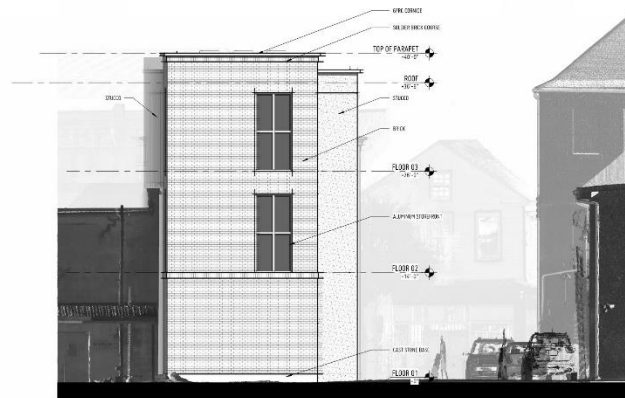


540 KING STREET
Vanderking, LLC

EXTERIOR ELEVATION- NORTH

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2/26/2018 11:00:00 AM



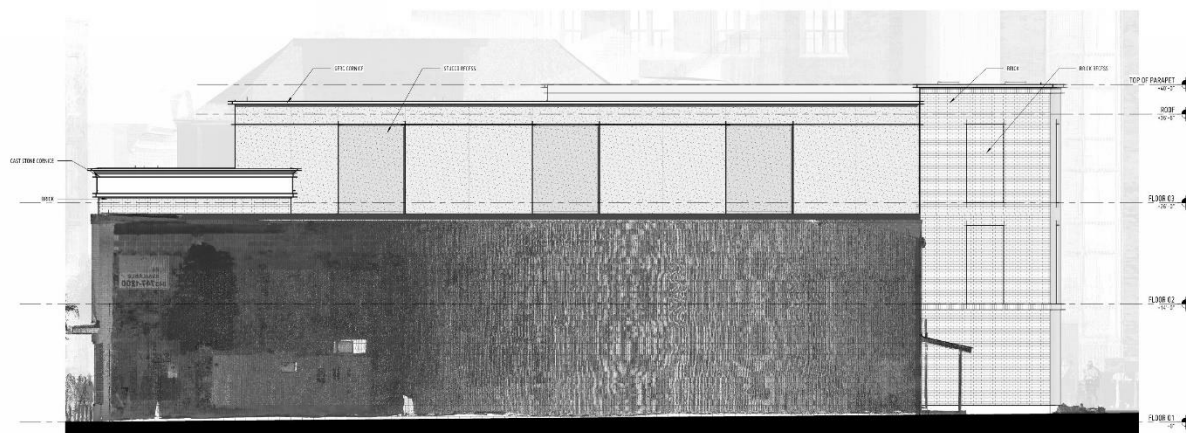
1 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

540 KING STREET
Vanderking, LLC

EXTERIOR ELEVATION- EAST

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/12/15 10:01:17 AM



1 PROPOSED SOUTH ELEVATION
SHEET 1 OF 1

540 KING STREET
Vanderking, LLC

EXTERIOR ELEVATION- SOUTH

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/01/15 10:25 AM

ALTA / NSPS LAND TITLE SURVEY

LOT NO. 3, AKA NO. 540 KING STREET, CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA. PREPARED FOR AND CERTIFIED TO VANDERKING 540 LLC, UNITED COMMUNITY BANK, CHICAGO TITLE INSURANCE COMPANY, AND CALLOWAY TITLE AND ESCROW, LLC, ITS SUCCESSORS AND/OR ASSIGNS.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE ABOVE SURVEY ACCURATELY REPRESENTS THE TRUTH OF THE MATTERS HEREIN, AND THAT I AM NOT PROVIDING OR OBTAINING ANY INFORMATION FOR A CLAIM, SUIT OR OTHER PROCEEDING.

SCALE: 1" = 40'
 DATE: DECEMBER 23, 2014
 BY: ALEXANDER C. FRANKOV
 PROJ: ALTA, 100' x 100', PLS. 100'
 PROJ: DEED BK. 1000, PLS. 100'
 TITLE: 100' x 100'

ALEXANDER C. FRANKOV
 PROFESSIONAL LAND SURVEYOR
 P.O. BOX 504, CHARLESTON, SC 29405
 OFFICE 803-722-1000, MOBILE 803-722-1001

CHARLESTON COUNTY
 SOUTH CAROLINA

PROPERTY LINE
ADJACENT PROPERTY LINE
SUBJECT LINE

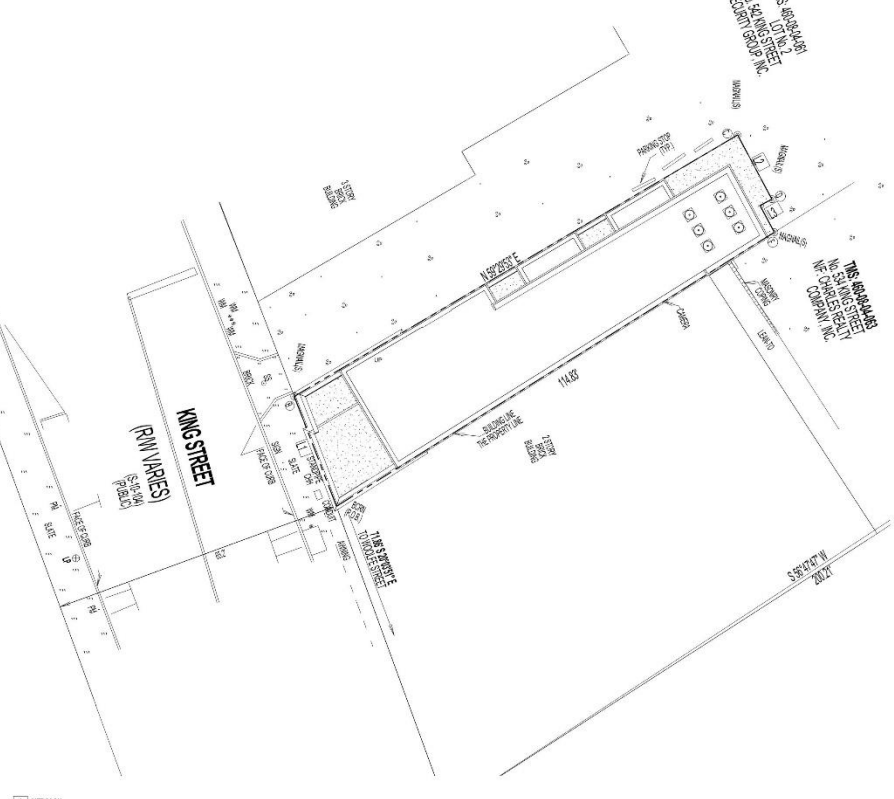
BRICK
 GRAVEL
 CONCRETE
 TILE

ENCROACHMENT TABLE
 ENC1: MASONRY CONCRETE PROPERTY LINE BY 0.2'
 ENC2: CONCRETE OVERHANG PROPERTY LINE BY 0.2'
 ENC3: CONCRETE OVERHANG PROPERTY LINE BY 0.2'
 ENC4: AIR CONDITIONER OVERHANG PROPERTY LINE BY 0.2'
 ENC5: AIR CONDITIONER OVERHANG PROPERTY LINE BY 0.2'

RECORDING INFORMATION
 Copying of a plat or map of a survey made by a surveyor shall be made by a surveyor or a person acting under the supervision of a surveyor. The fee for such copying shall be as follows: For each copy of a plat or map of a survey made by a surveyor, the fee shall be \$10.00. For each copy of a plat or map of a survey made by a person acting under the supervision of a surveyor, the fee shall be \$5.00.

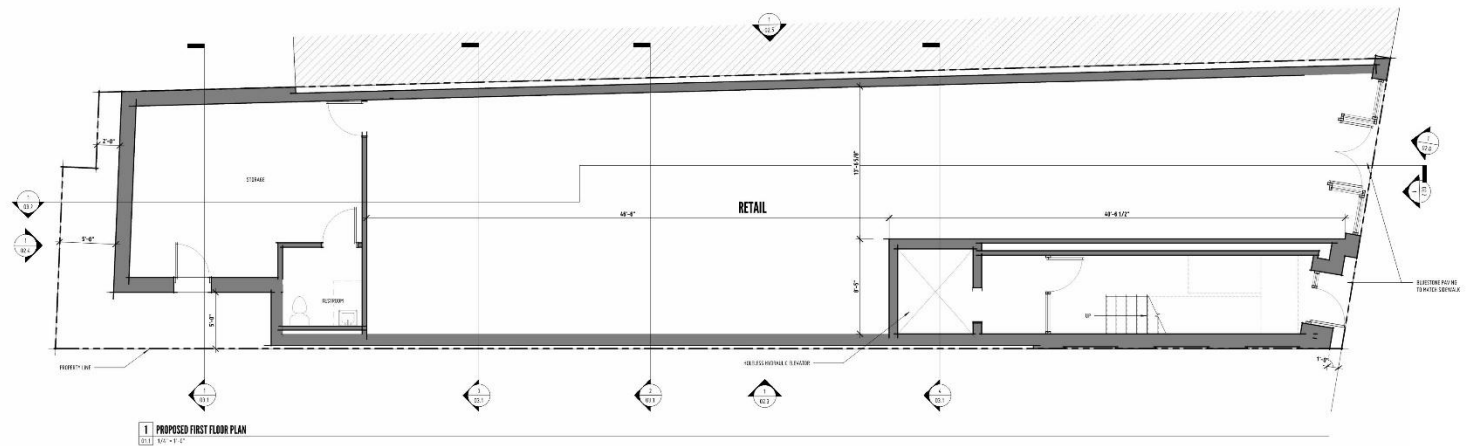
SURVEYOR'S CERTIFICATE
 I, the undersigned, being a professional and duly qualified surveyor of the State of South Carolina, do hereby certify that the above survey was made by me or under my direct supervision and that I am a duly licensed surveyor of the State of South Carolina.

NOTES
 1. THE SURVEY WAS MADE ON THE 23RD OF DECEMBER, 2014, AND THE SURVEYOR HAS MADE THE SURVEY ACCORDING TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF. THE SURVEYOR HAS MADE THE SURVEY ACCORDING TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF. THE SURVEYOR HAS MADE THE SURVEY ACCORDING TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF.



1 SITE PLAN

1/1/2015 10:25:24 AM

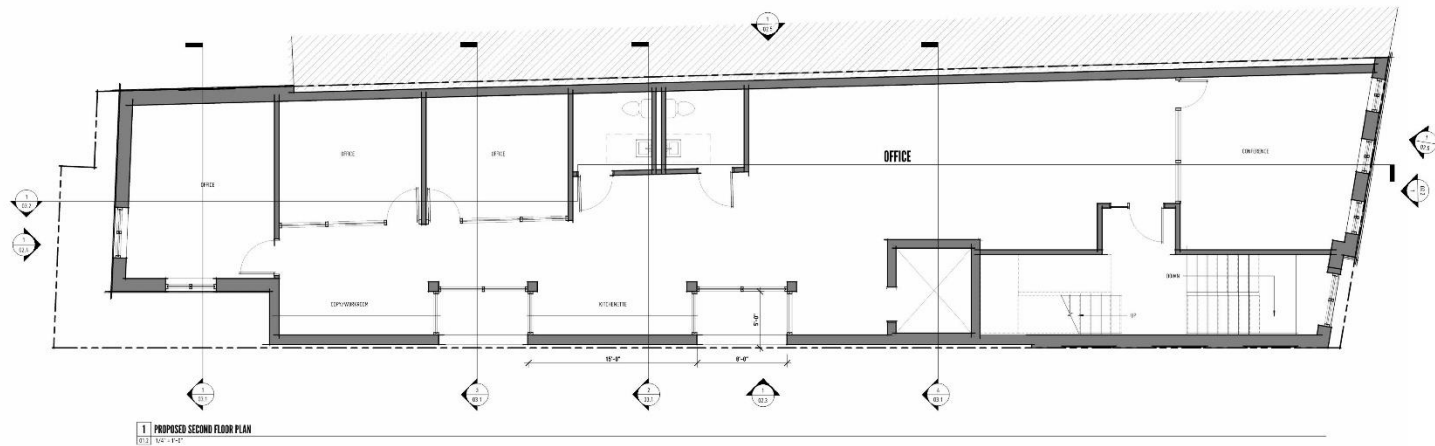


540 KING STREET
Vanderking, LLC

FIRST FLOOR PLAN

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/01/15 10:52:28 AM

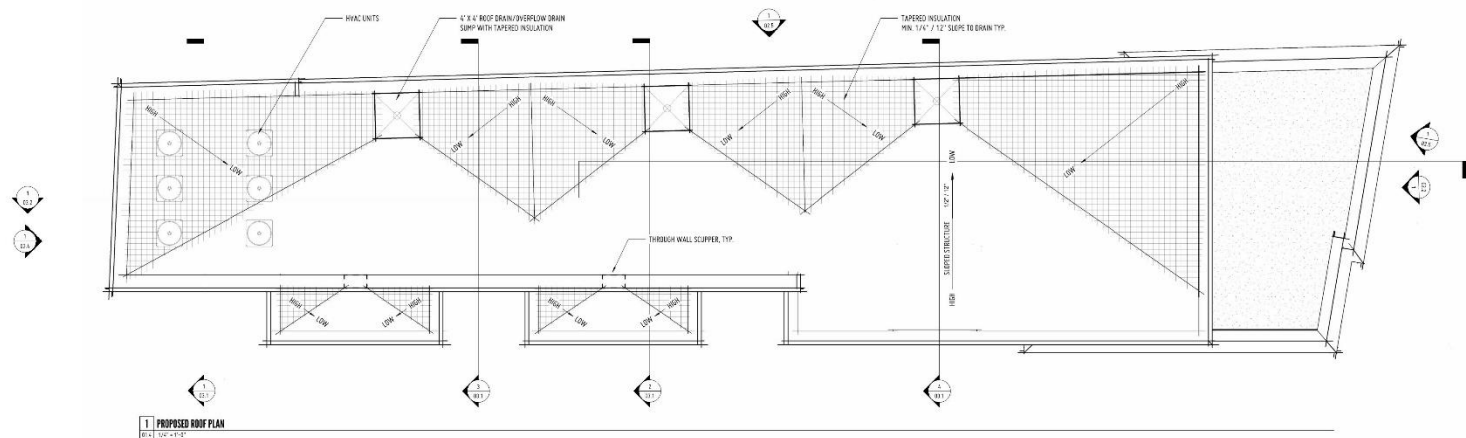


540 KING STREET
Vanderking, LLC

SECOND FLOOR PLAN

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

2020/01/15 10:52:31 AM

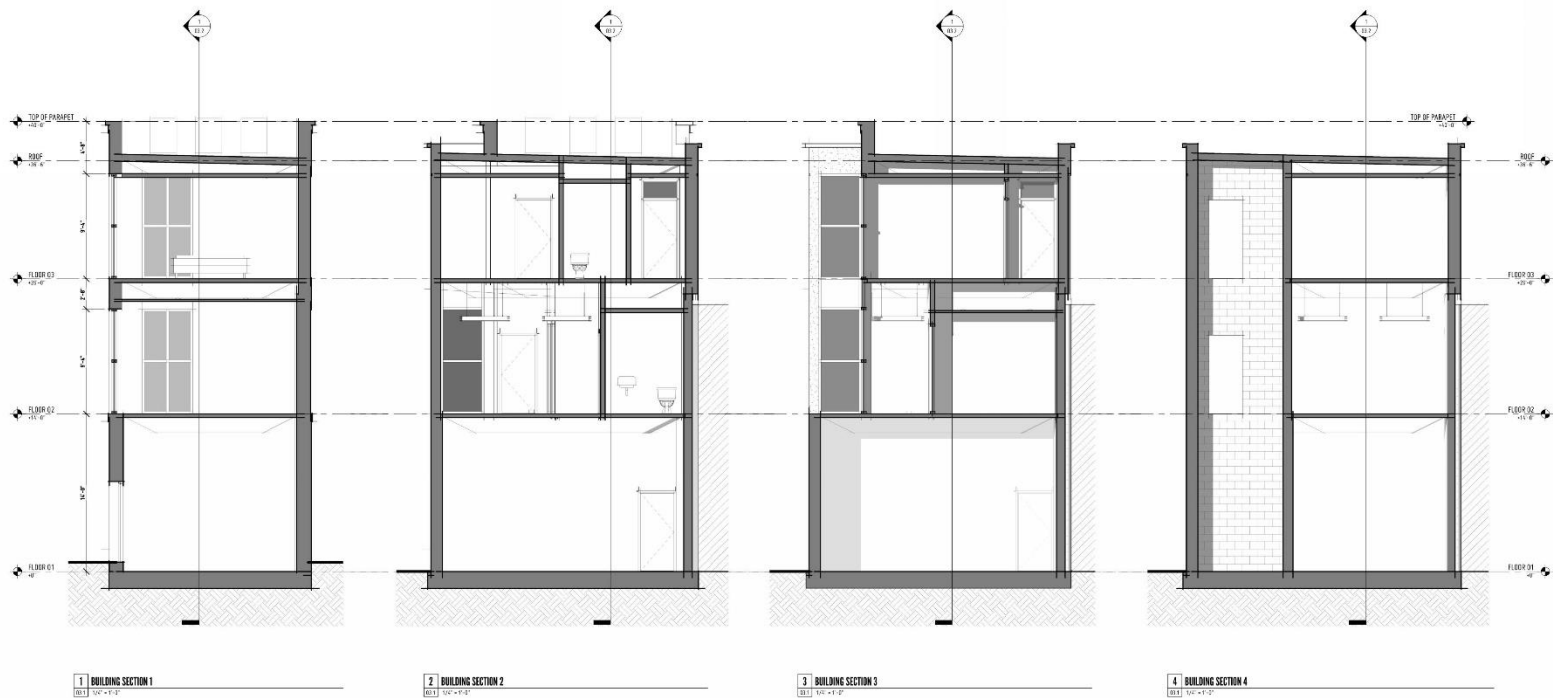


540 KING STREET
Vanderking, LLC

ROOF PLAN

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

20200715 10:20:33 AM

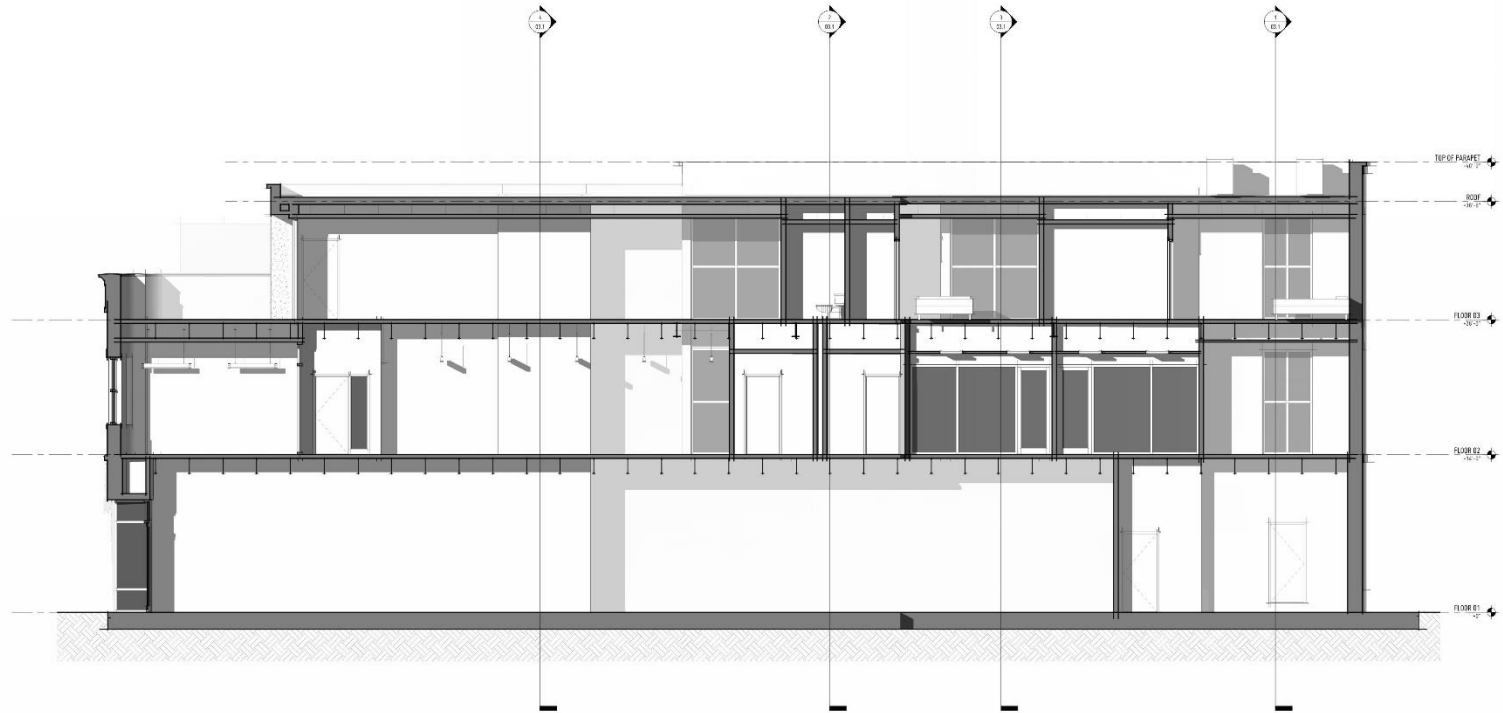


540 KING STREET
Vanderking, LLC

BUILDING SECTIONS

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

20200112-1000113.AIA



1 | BUILDING SECTION S
03.12.17 10:11 AM

540 KING STREET
Vanderking, LLC

BUILDING SECTION

the
MIDDLETONGROUP
ARCHITECTURE STUDIO

28/07/18 11:02:22 AM

Agenda Item 9:

154 Spring Street - - TMS#460-11-02-082

Request conceptual approval for new construction of a residential structure at rear of property.

**Category 4 / Cannonborough-Elliotborough / c.1885-1895 /
Old City District**

154 SPRING STREET, CHARLESTON, SC

NEW CONSTRUCTION OF REAR 2 UNIT BUILDING

PROJECT INFORMATION

ARCHITECT:
BECKY FENNO, AIA, LEED AP
FENNO ARCHITECTURE LLC
P.O. BOX 20220
CHARLESTON, SC 29413
EMAIL: BFENNO@FENNOARCH.COM
TEL.: 843.442.6552

OWNER:
FRED A. STONE, III
3 CHISOLM ST.
CHARLESTON, SC 29401

SITE INFORMATION

TMS NO. 4601102082

NEIGHBORHOOD:
CANNONBOROUGH-ELLIOTBOROUGH

FLOOD ZONE: AE-13
HEIGHT OF FIRST FLOOR: ELEV. 14' MIN.

LOT SIZE: 8,622 SF, 0.198 AC

ZONING INFORMATION:

CLASSIFICATION:
LIMITED BUSINESS - ACCOMMODATIONS
LB-A, NON-RESIDENTIAL

WITHIN THE FOLLOWING OVERLAY ZONES:
ACCOMMODATIONS OVERLAY
AMUSEMENT & RECREATION OVERLAY
SHORT TERM RENTAL OVERLAY
OLD CITY DISTRICT

PARKING:
SPACES REQUIRED: 3

SETBACKS PER TABLE 3.1:
FRONT & REAR: NR
TOTAL OF BOTH: NR
SIDE:
SOUTH/WEST & NORTH/EAST: NR
TOTAL OF BOTH: NR

ACCESSORY BUILDING SETBACKS:
FROM FRONT STREET AND SIDE STREET: N/A
ADDITIONAL DWELLING DISTANCE FROM
FRONT LOT LINE: N/A

MINIMUM LOT AREA PER FAMILY: N/A

HEIGHT LIMIT:
HEIGHT DISTRICT 2.5 - 3.5
(PER NEW HEIGHT ORDINANCE SEC
54-306.C)

MAX. HT.: 3 STORIES / 45'

MAX HEIGHT LIMITS OF FENCES /
WALLS PER TABLE 3.1: N/A

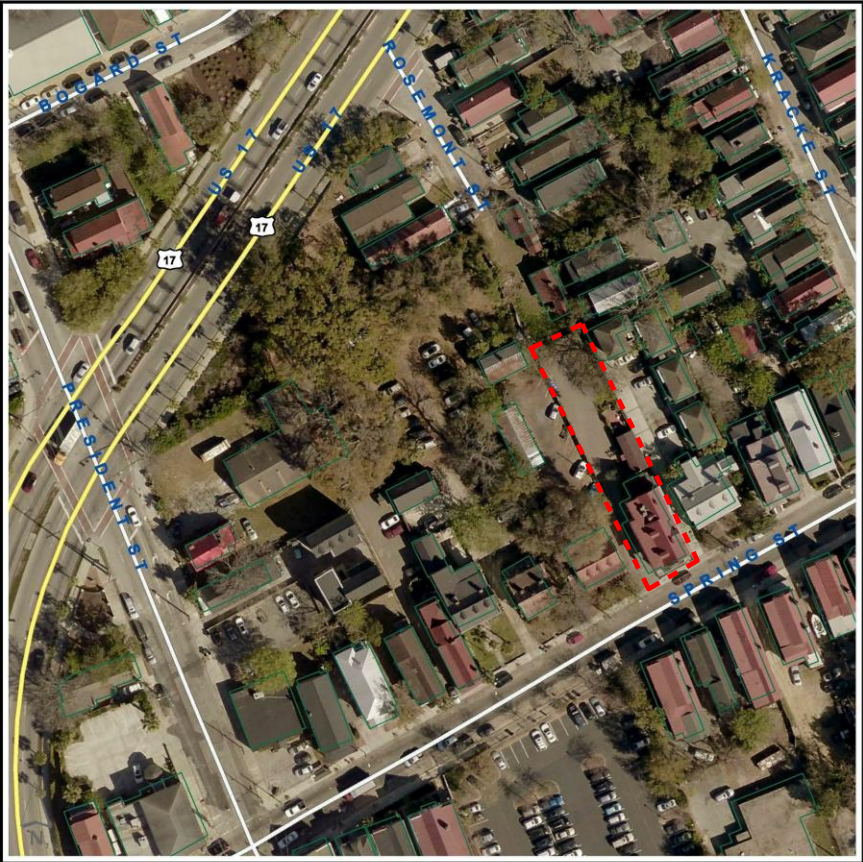
APPROVALS:

ZONING: APPROVAL GRANTED BY BZA
ON 11.7.17 FOR RECONFIGURATION
OF 4 UNITS, TO INCLUDE NEW
CONSTRUCTION OF PROPOSED NEW
BUILDING

CODE INFORMATION

2015 SC BUILDING CODE
2009 IECC
FEMA
ADA

NOTES:
RESIDENTIAL GROUP R-SECTION 310
SPRINKLER REQUIRED
TABLE 705.8: 15% MAX % OPENING
WHEN 3'-5' FROM PROP. LINE
TABLE 602: 1 HOUR RATED WALLS
WHEN LESS THAN 5' TO PROP. LINE



AERIAL PHOTO OF 154 SPRING STREET

154 SPRING STREET



STREETSCAPE LOOKING EAST AT EXISTING 2 1/2 STORY BUILDING



SOUTH ELEVATION FACING SPRING STREET

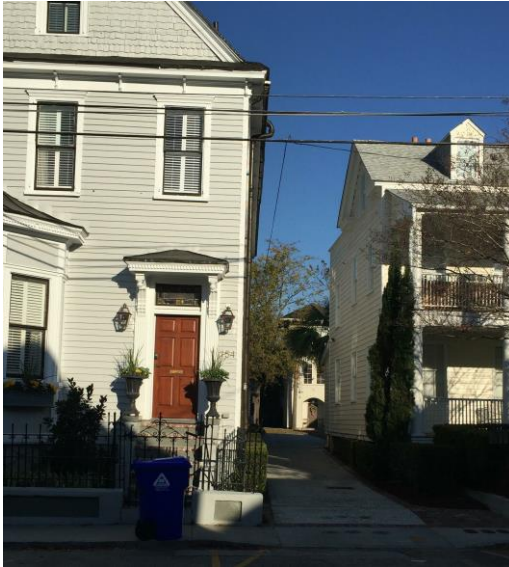


MIDPOINT OF DRIVEWAY LOOKING NORTH



REAR OF SITE LOOKING SOUTH TOWARD SPRING ST.

**CONTEXT PHOTOS
SHOWING 2.5-3.5
STORY BUILDINGS**



DRIVEWAY OF 152 SPRING TO THE EAST; 3 STORY
BUILDING IN DISTANCE



LOOKING EAST: 150 SPRING STREET IN THE FOREGROUND



160 SPRING ST. W/ 2 1/2 & 3 1/2 STORY BUILDINGS
AT 146 PRESIDENT ST. SEEN DOWN DRIVEWAY



146 PRESIDENT ST. BUILDINGS - AS SEEN FROM
PRESIDENT ST.



CORNER OF COMING AND SPRING STREETS



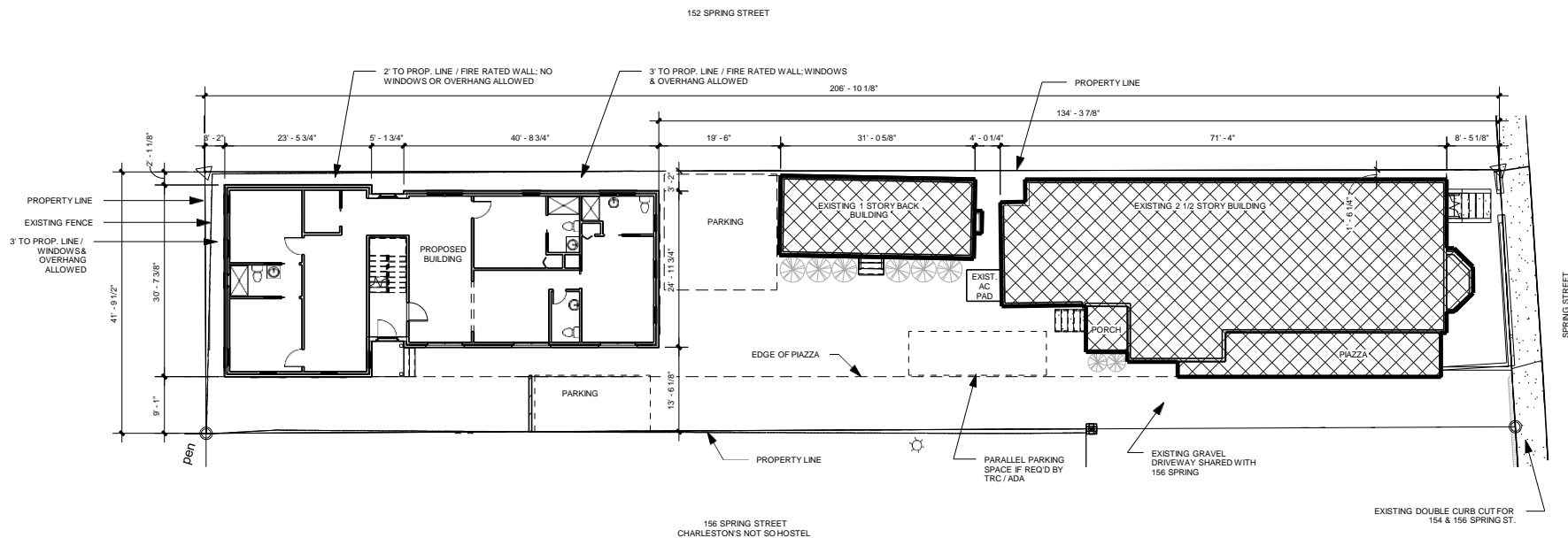
1902 SANBORN MAP



1944 SANBORN MAP

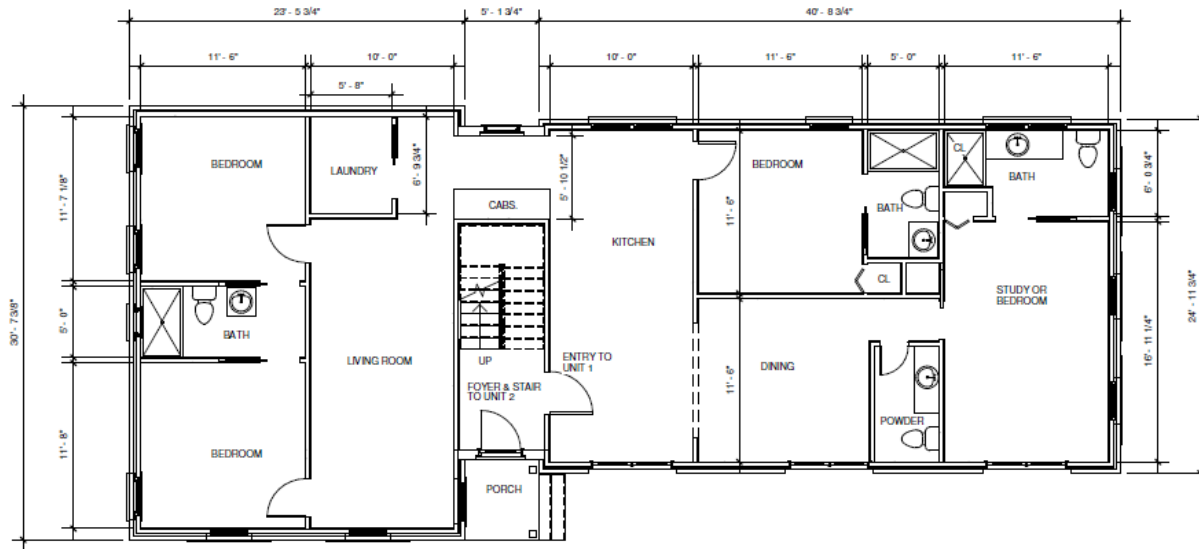


2017 GIS MAP



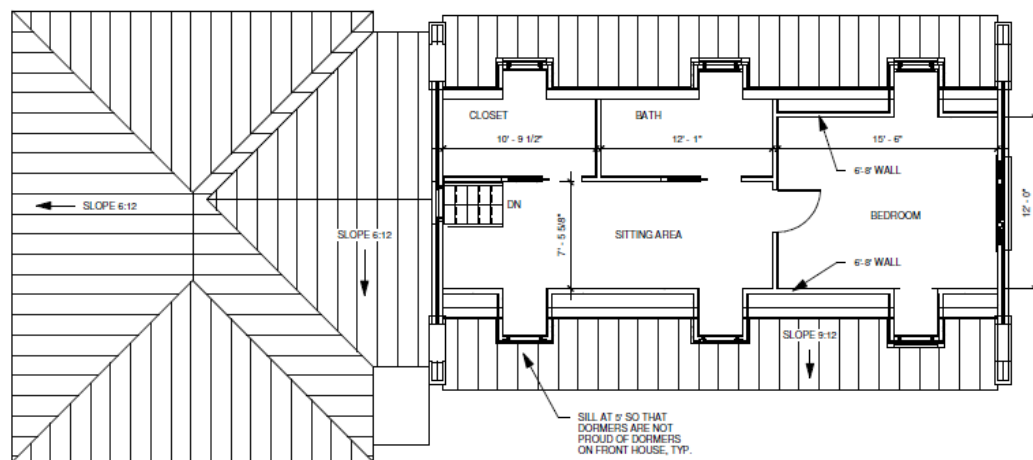
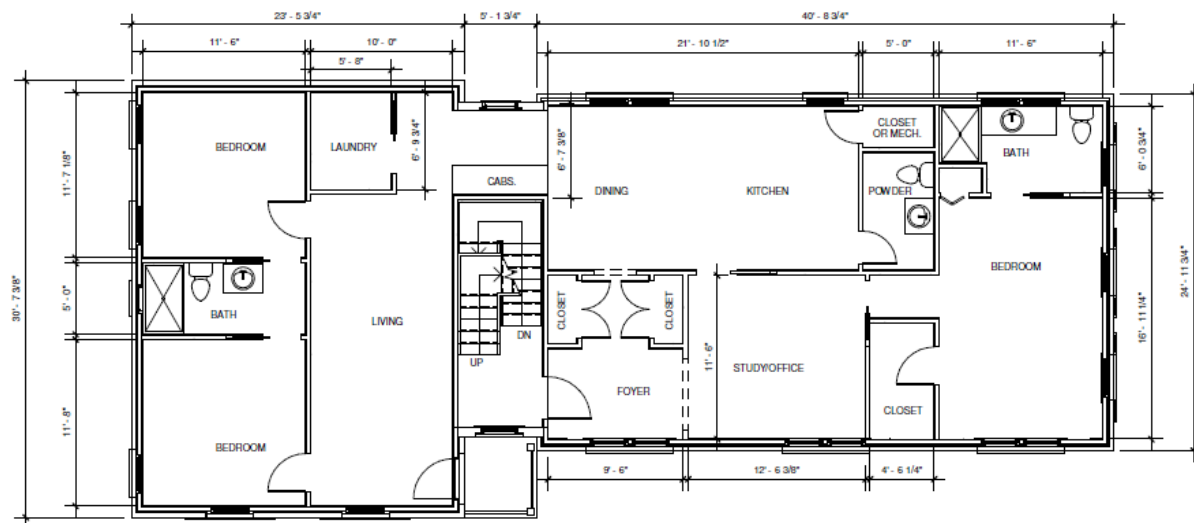
1 PROPOSED SITE PLAN
1/16" = 1'-0"

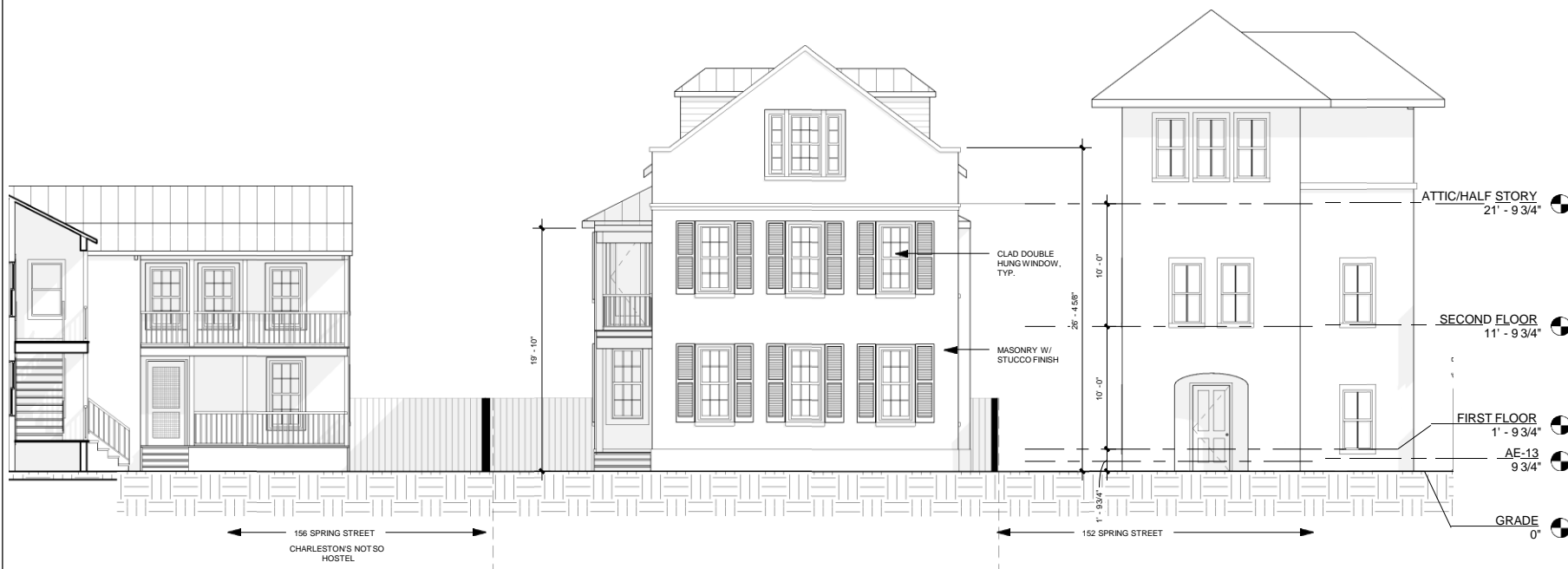




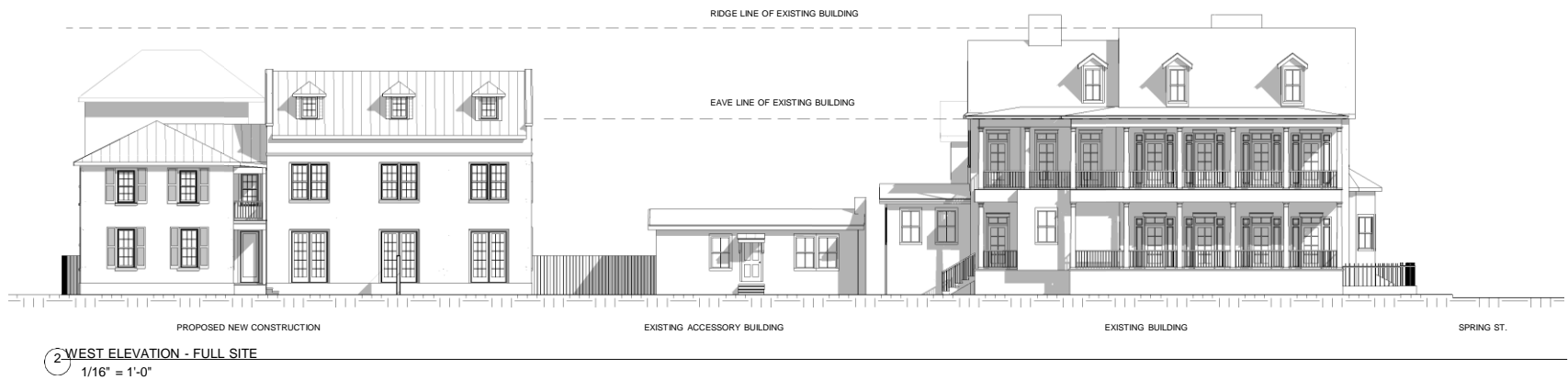
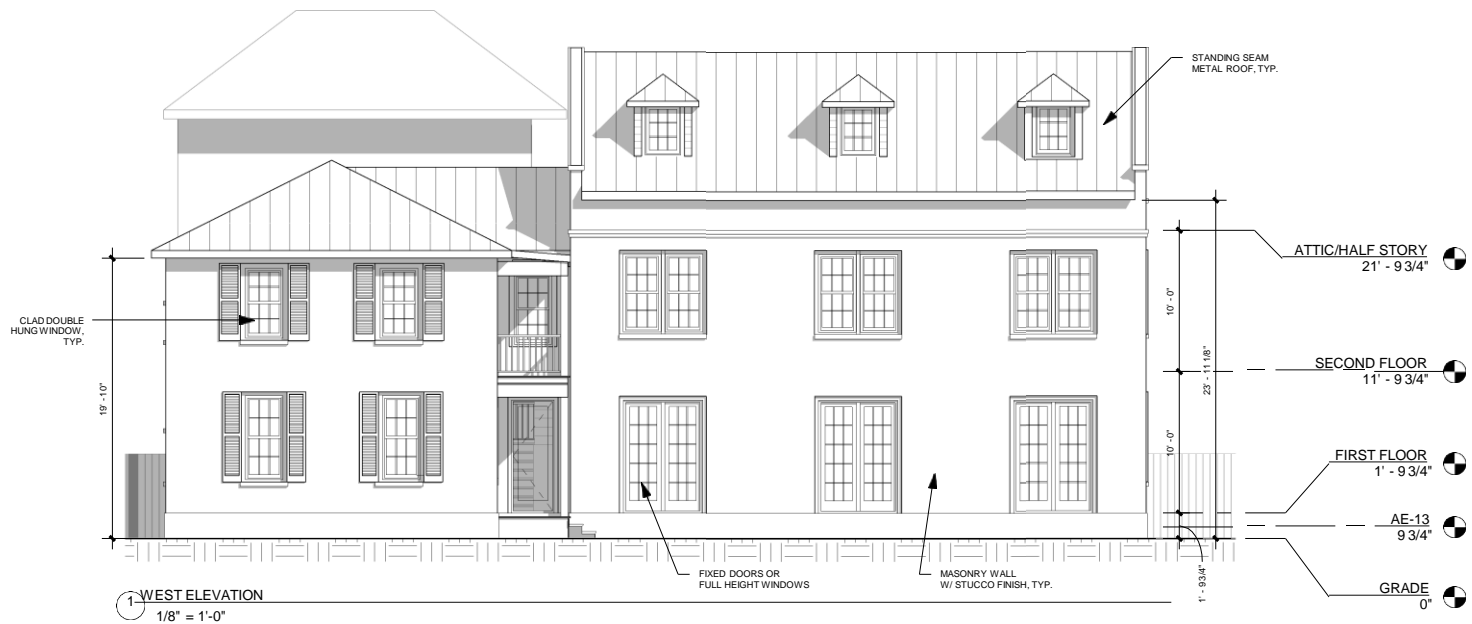
1 FIRST FLOOR
1/8" = 1'-0"

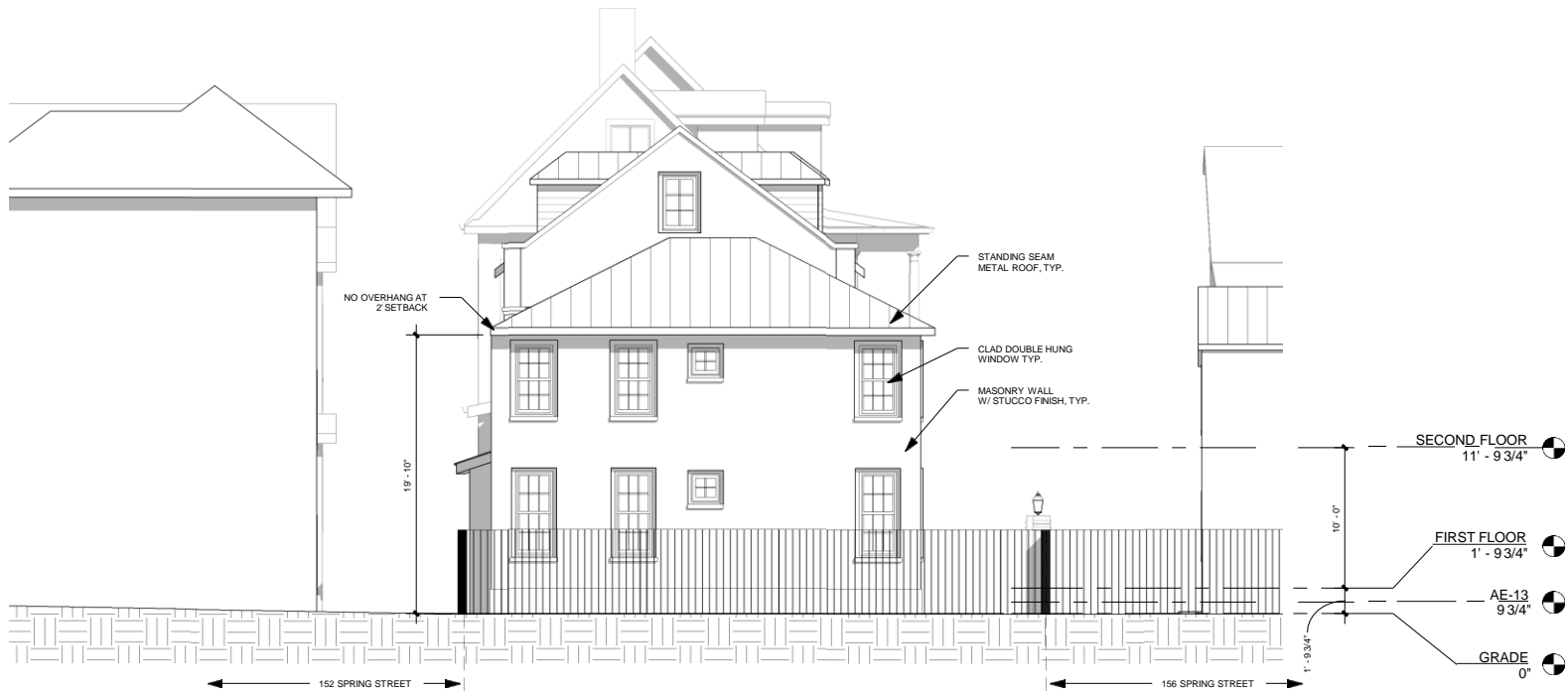




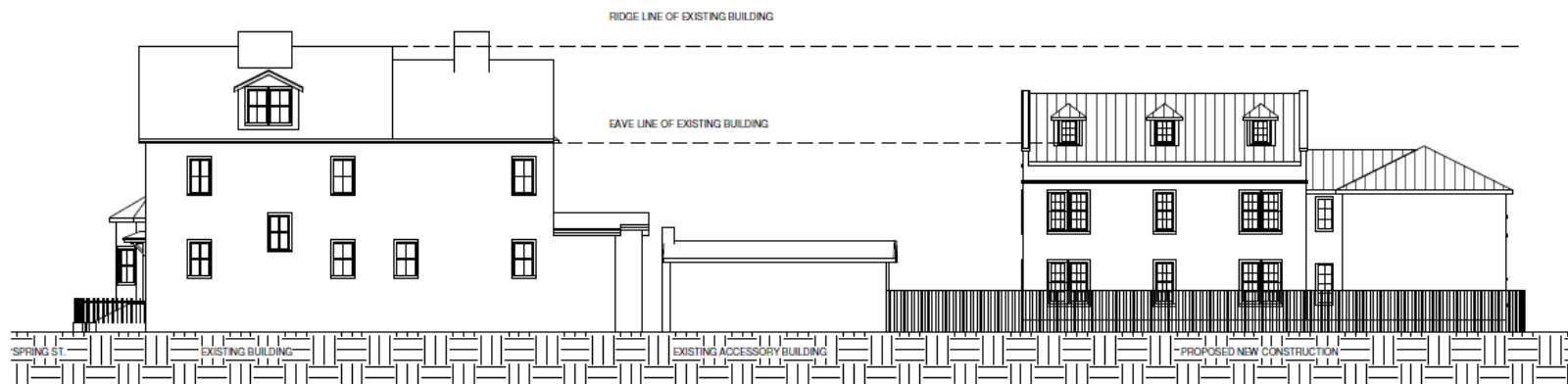
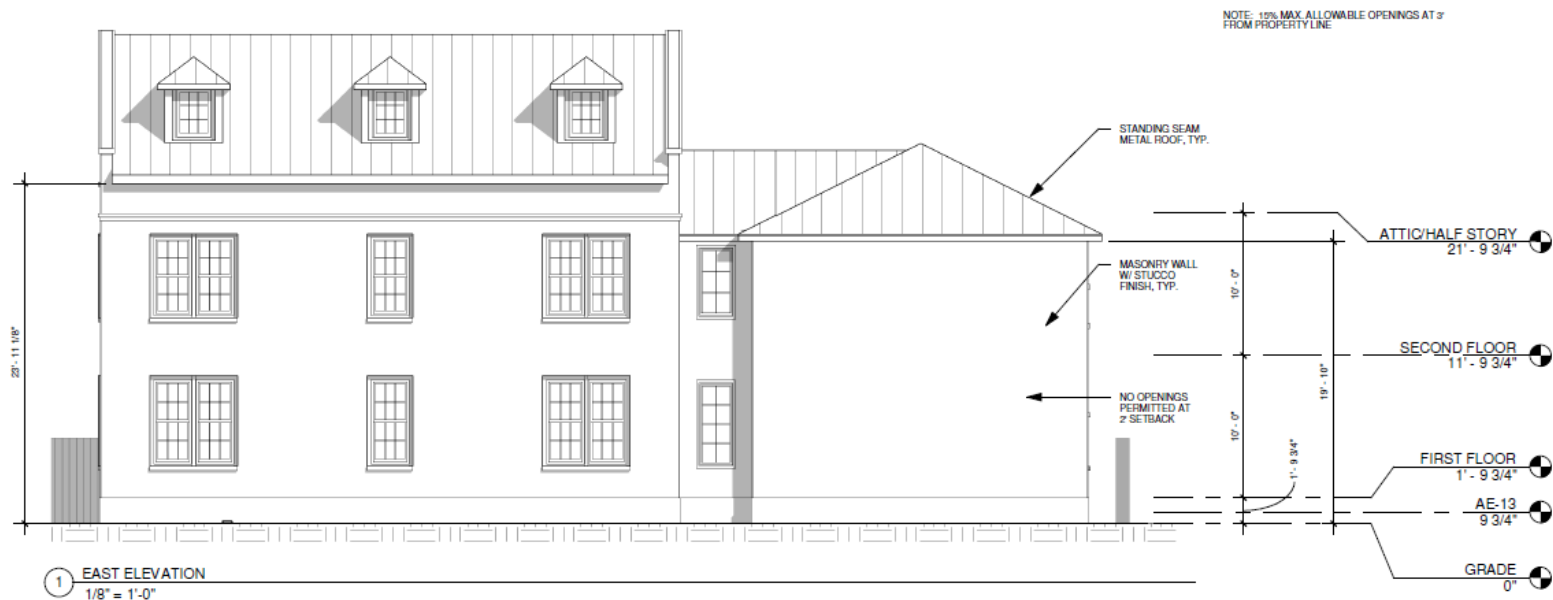


1 SOUTH ELEVATION
1/8" = 1'-0"





1 NORTH ELEVATION
1/8" = 1'-0"





1

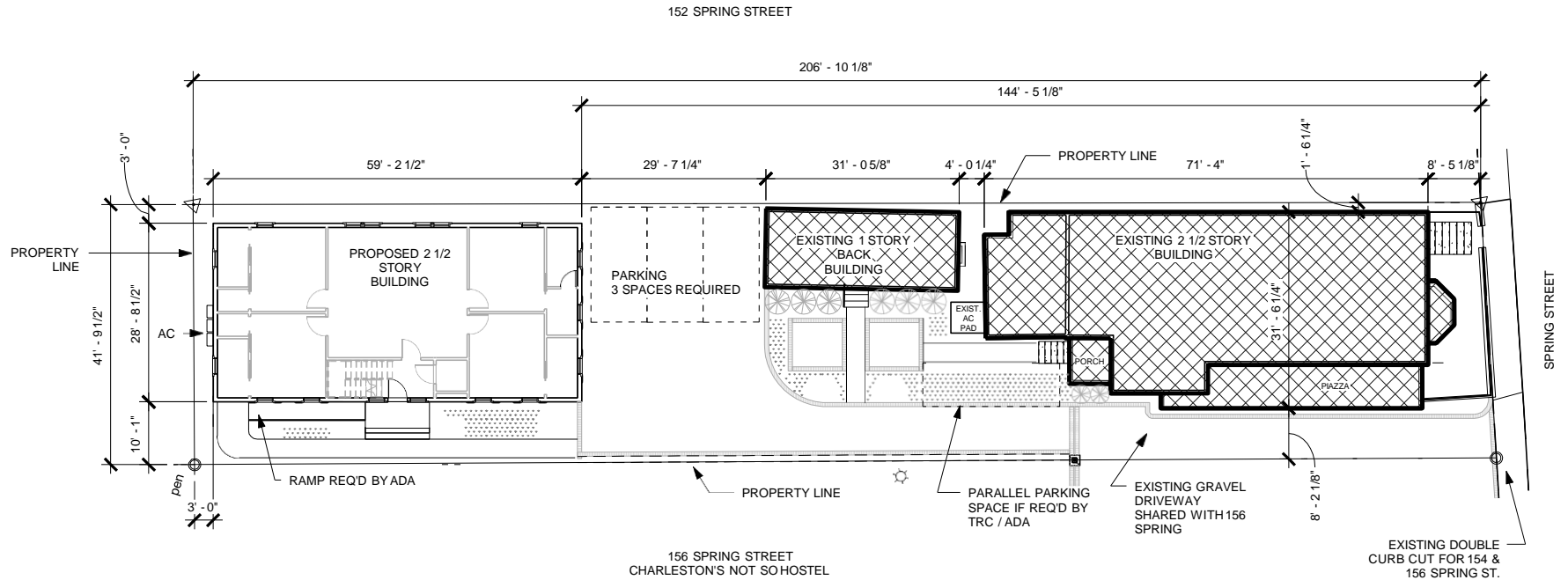
EXISTING ELEVATION OF SPRING STREET

1/8" = 1'-0"



1 PROPOSED ELEVATION OF SPRING STREET
1/8" = 1'-0"

FOR REFERENCE
PREVIOUS SUBMITTAL AT MEETING 1.11.18

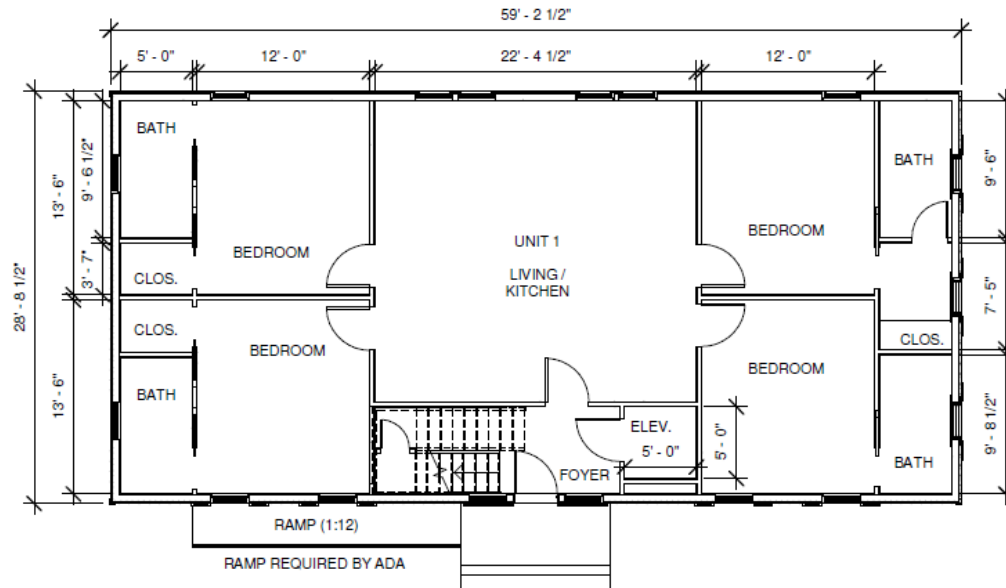


NOTE: UNDERLAY IS SURVEY BY GEORGE A.Z.
JOHNSON
DATED SEPTEMBER 6, 2017

1 PROPOSED SITE PLAN
1/16" = 1'-0"



FOR REFERENCE
PREVIOUS SUBMITTAL AT MEETING 1.11.18



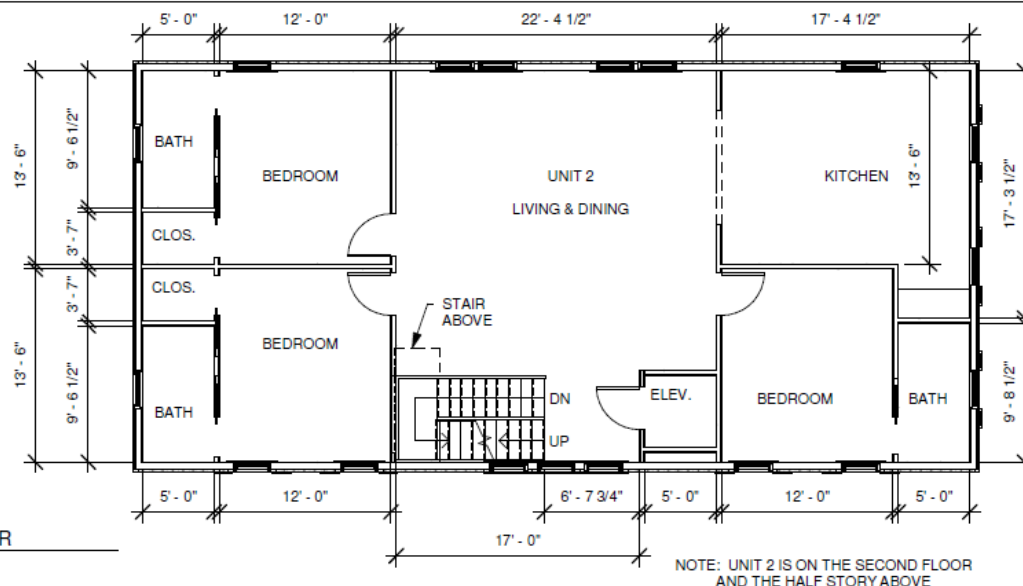
① FIRST FLOOR
1/8" = 1'-0"



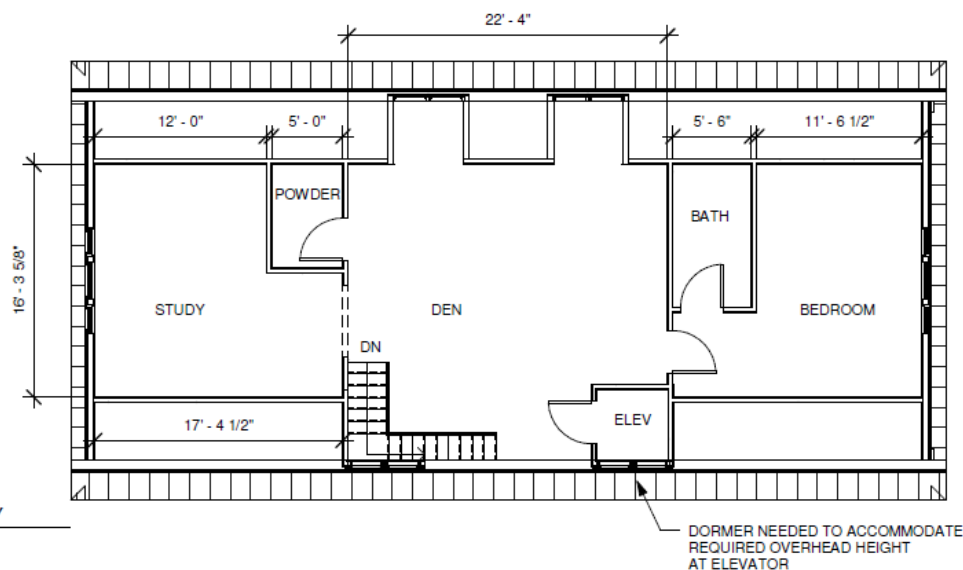


FOR REFERENCE
PREVIOUS SUBMITTAL AT
MEETING 1.11.18

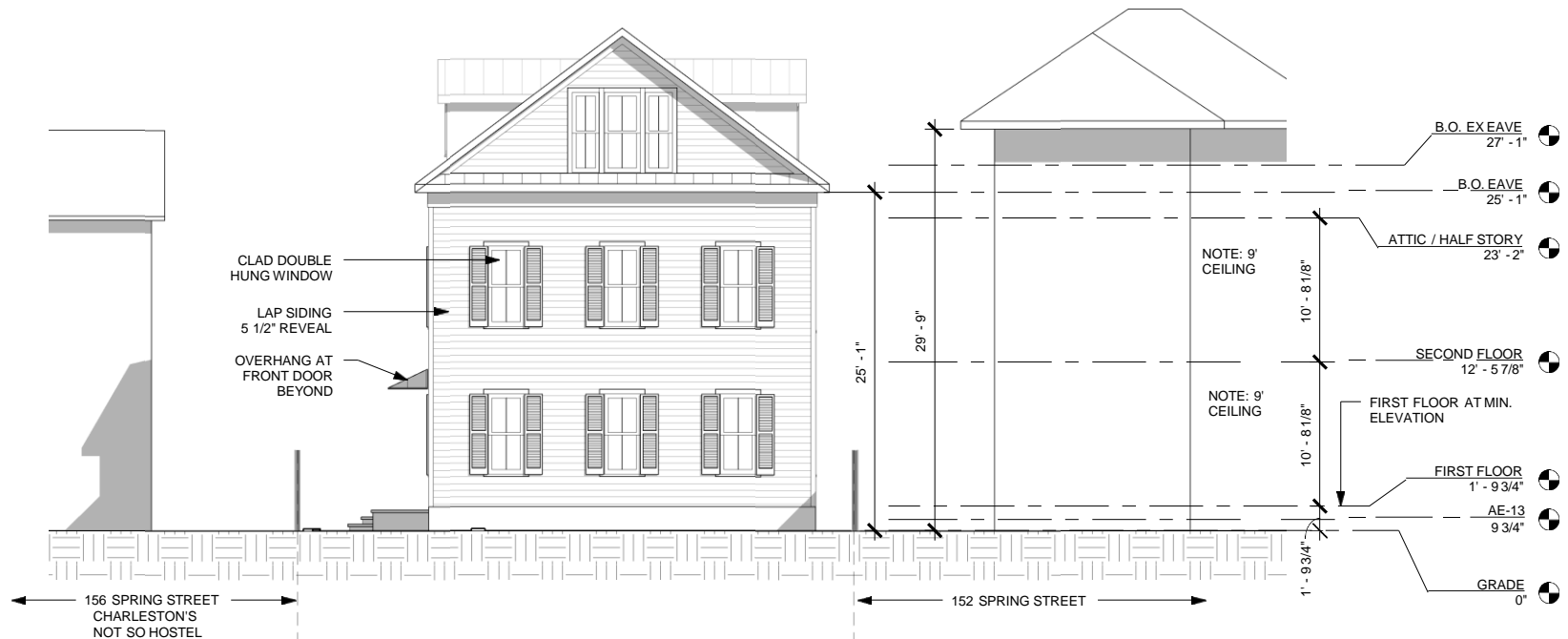
① SECOND FLOOR
1/8" = 1'-0"



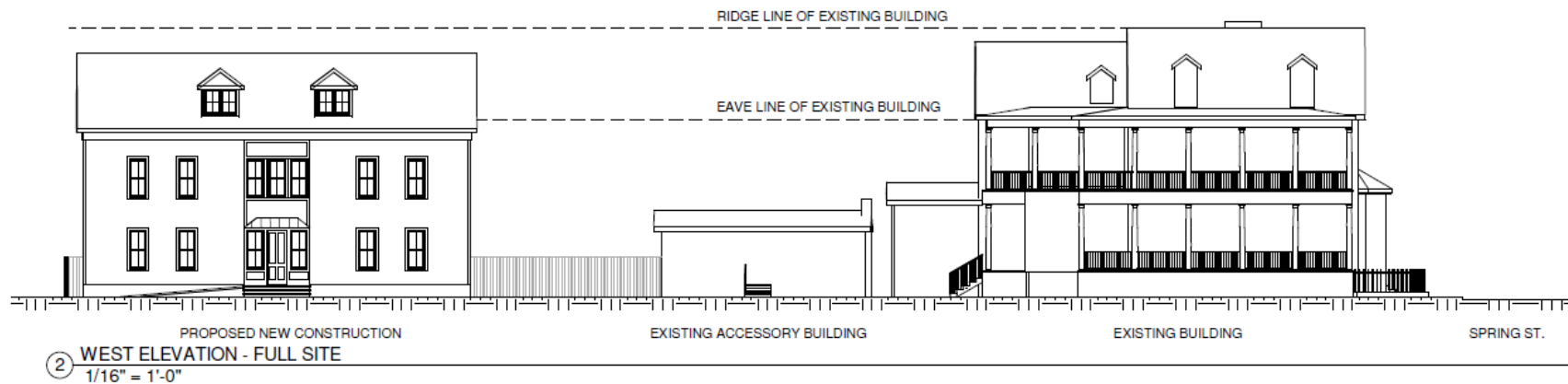
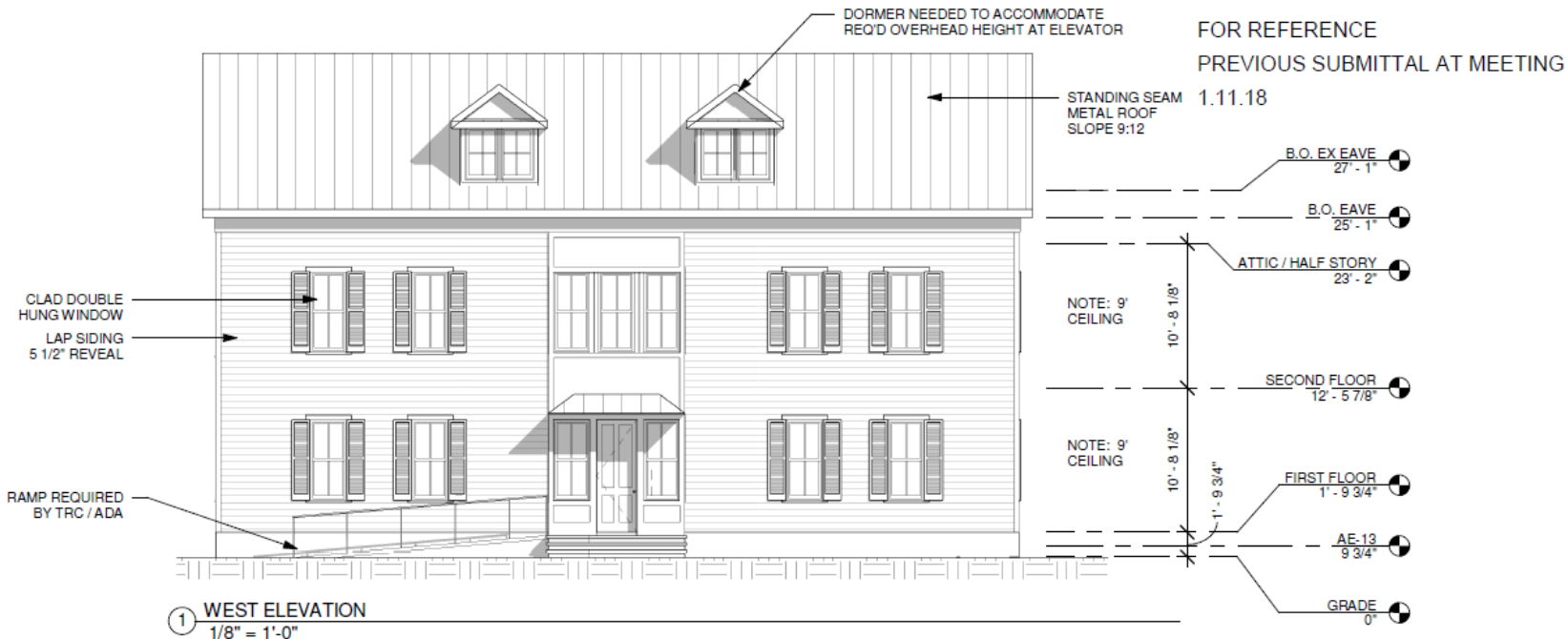
② ATTIC / HALF STORY
1/8" = 1'-0"

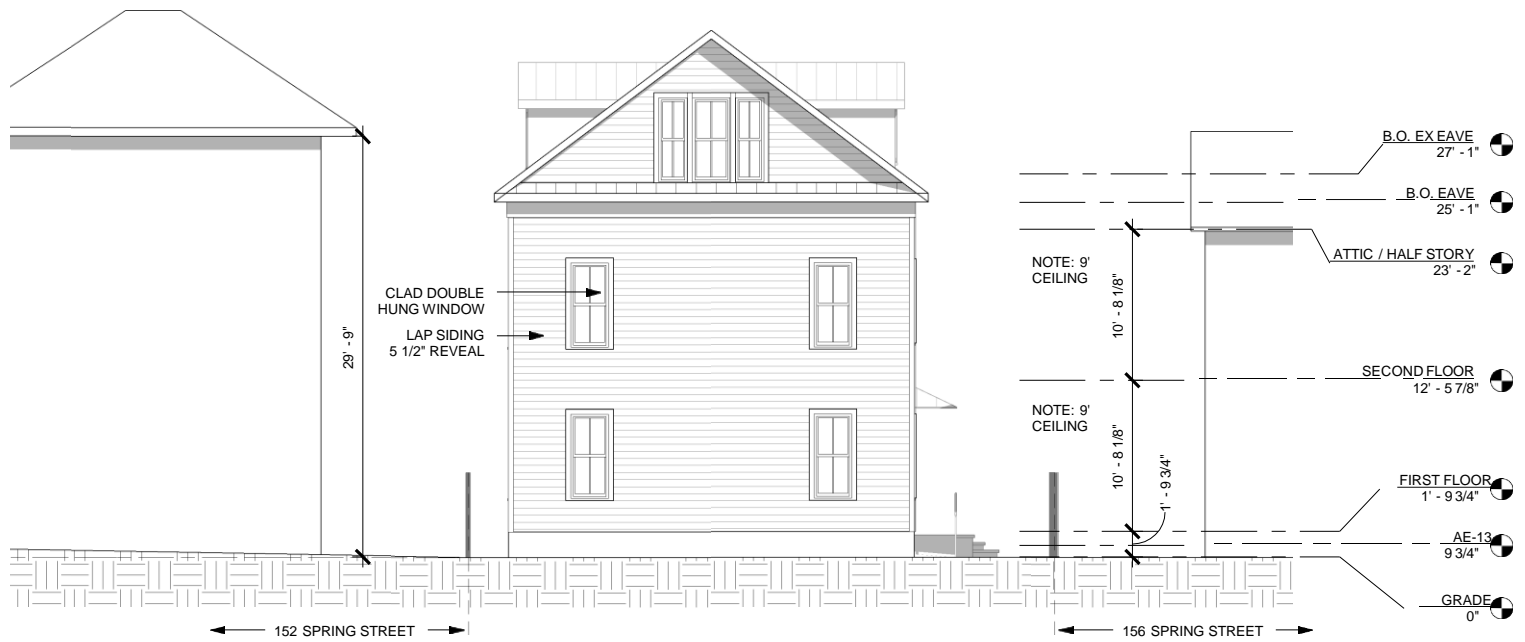


FOR REFERENCE
PREVIOUS SUBMITTAL AT MEETING 1.11.18



1 SOUTH ELEVATION
1/8" = 1'-0"

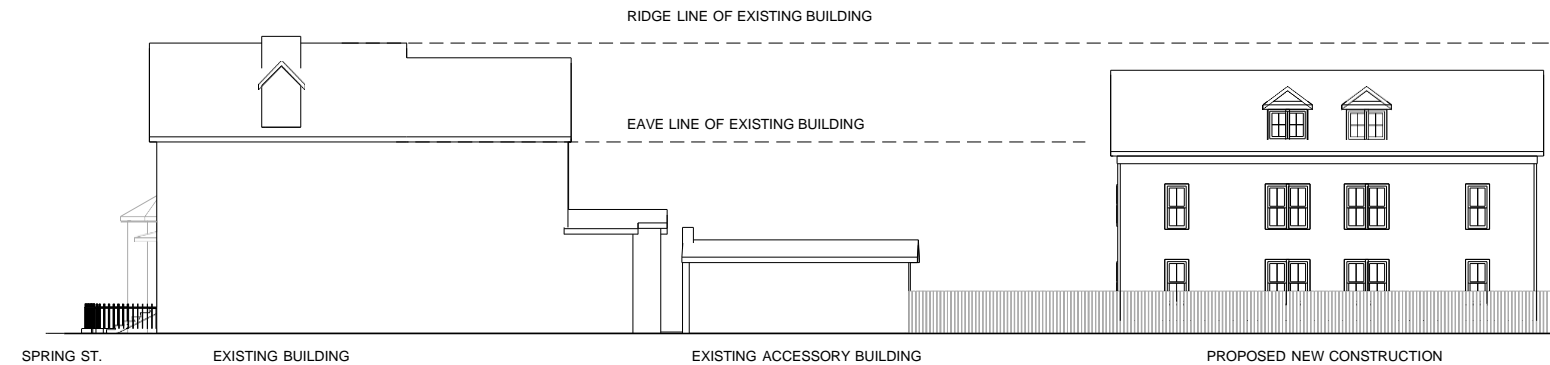




1 NORTH ELEVATION
1/8" = 1'-0"

FOR REFERENCE
PREVIOUS SUBMITTAL AT MEETING 1.11.18

FOR REFERENCE
PREVIOUS SUBMITTAL AT MEETING 1.11.18



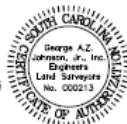


LOCATION MAP
S.T.S.

- 1) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
- 2) AREA DESIGNATED BY COORDINATE METHOD.
- 3) THE BEHAVIORS SHOWN HEREIN ARE MATTERIAL AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 4) THE PRESENCE OR ABSENCE OF U.S. ARMY CORP OF ENGINEERS JURISDICTIONAL MATERIALS IS UNDERSTOOD AS THE BASIS OF THIS SURVEY.
- 5) THIS PLAT REPRESENTS A SURVEY DATED ON THE LISTED REVENUES ONLY, AND IS THE RESULT OF A 1ST CLASS SURVEY.
- 6) THESE SPECIES SHOWN HEREIN ARE OUT GROUND ONLY AND HAVE NOT BEEN IDENTIFIED BY A CERTIFIED AGENT FROM AN OUT REVENUE OF 2002 REVENUE. THIS SPECIES SHALL BE IDENTIFIED.
- 7) THIS PLAT IS LOCATED IN FLOODED ZONE AS ELEVATION 11. AS PER FEMA MAP COMBUSTION-PAVED, NW 1/4 SEC 02 T14 S01 R17W 2002A. IT IS THE OWNER/PLATEEES RESPONSIBILITY TO VERIFY THIS FLOODED ZONE WITH LOCAL AUTHORITIES PRIOR TO BUILDING.
- 8) ACQUISITION IS MADE TO THESE PARCELS FOR WHICH THIS PLAT WAS PREPARED. IT IS NOT NECESSARY TO SUBMIT OWNERS. THIS GRADING/PLAT IS AN INSTRUMENT OF SERVICE AND IS THE SALE PROPERTY OF GEORGE A. JOHNSON, JR. IT SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF GEORGE JOHNSON, JR. PER PL 5, SEC 362, MAY, 25/07 COPYRIGHT © 2007, F. Steven Anderson.
- 9) USE OF INCREASED COPIES OF THIS DOCUMENT AT ANY COURT, FINANCIAL OR LAND TRANSFER FOR FURTHER PURPOSES OF ANY TYPE IS UNAUTHORIZED USE AND IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.
- 10) "SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED.
- 11) THESE CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTRUMENTS OR SUBSEQUENT DATA.
- 12) INW029 D000.

General Property Survey

I, F. Stearn Johnson, Jr., a Registered Professional Land Surveyor in the State of South Carolina, certify to owner(s) shown herein that this survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein.



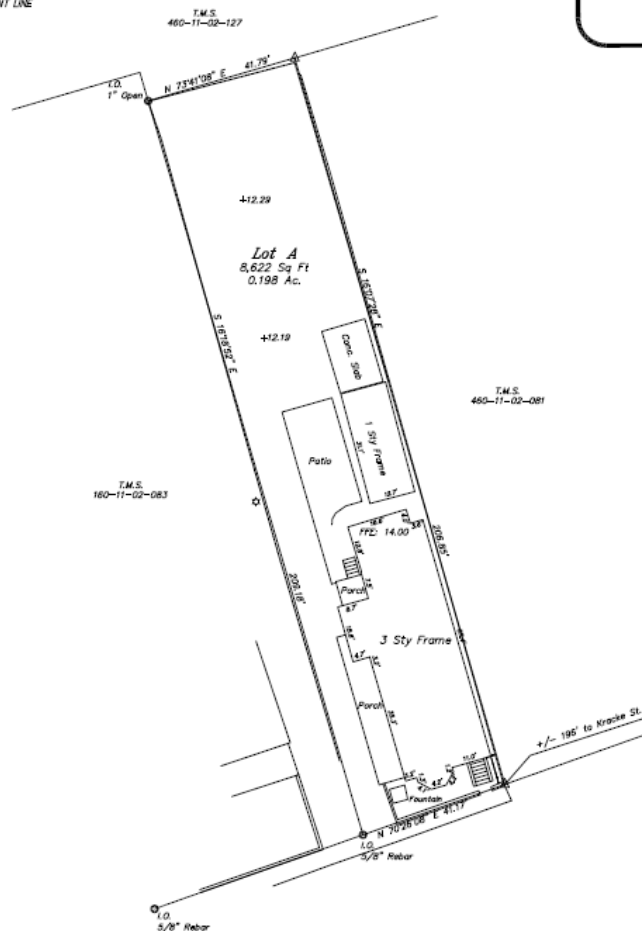
F. Steven Johnson, Jr., PE & PLS S.C. No. 26478
This plot not a valid, true copy unless bearing
the raised, embossed seal of the surveyor.

JOB# 24522 P.B.# 946 DRAWN BY: FSJ

REFERENCES:

- I.G. IRON PIN OLD
 □ I.N. IRON PIN NEW (5/8 REBAR)
 ■ CONCRETE MONUMENT FOUND
 △ C.P. CALCULATED POINT
 ☆ POWER POLE
 ★ LIGHT POLE
 _____ PROPERTY LINE
 _____ ADJOURNER LINE
 _____ FENCE LINE
 _____ OVERHEAD UTILITY LINE
 _____ EASEMENT LINE
 ○ OAK TREE
 ● PINE TREE
 ● GUM TREE
 ● MISC TREE

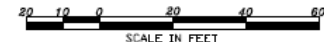
- 2) PLAT BY GEORGE A. Z. JOHNSON, JR., INC.
DATED MARCH 25, 1977
PLAT BOOK AH, PAGE 098
RMC CHARLESTON COUNTY



PLAT SHOWING
No. 154 SPRING STREET
LOT A, A 0.198 ACRE PARCEL
PREPARED FOR
FENNO ARCH., LLC
LOCATED IN THE CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: SEPT. 6, 2017

SCALE: 1" = 20'



SCALE IN FEET

GEORGE A.Z. JOHNSON, JR., INC.
ENGINEERS · PLANNERS · LAND SURVEYORS
6171 SAVANNAH HIGHWAY
RAVENEL, SOUTH CAROLINA 29470
(843) 889.1492 Charleston No. 722.3892 GAZ/COMCAST.NET
Fax No. (843) 889.1054

Agenda Item 10:

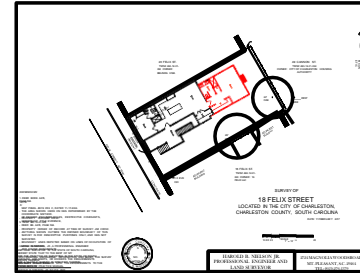
18 Felix Street - - TMS#460-12-01-029

Request conceptual approval for renovation of existing building and new construction of rear addition.

**Category 4 / Cannonborough-Elliotborough / pre-1888 /
Old City District**



Existing Footprint: 1072 sq ft
 Proposed Addition Footprint
 Proposed Total Footprint: 1655 sq ft
 Lot Size: 3360 sq ft
 Proposed Coverage: 49.25%
 Current: 2 Units (2 Bed 1 Bath ea.)
 Proposed: 2 Units (2 Bed 2 Bath ea.)
 Proposed Materials:
 Structure: Wood Frame
 Foundation: Continuous Footer/Block Wall
 Siding: 1x8" PT Pine Shiplap on Flat
 Trim: PT Pine
 Roof: Galvanized Standing Sea,
 Flashing: Copper
 Stairs: Carolina Brick
 Shutters: Functional Cedar
 Windows: Anderson Historic Series
 All Wood

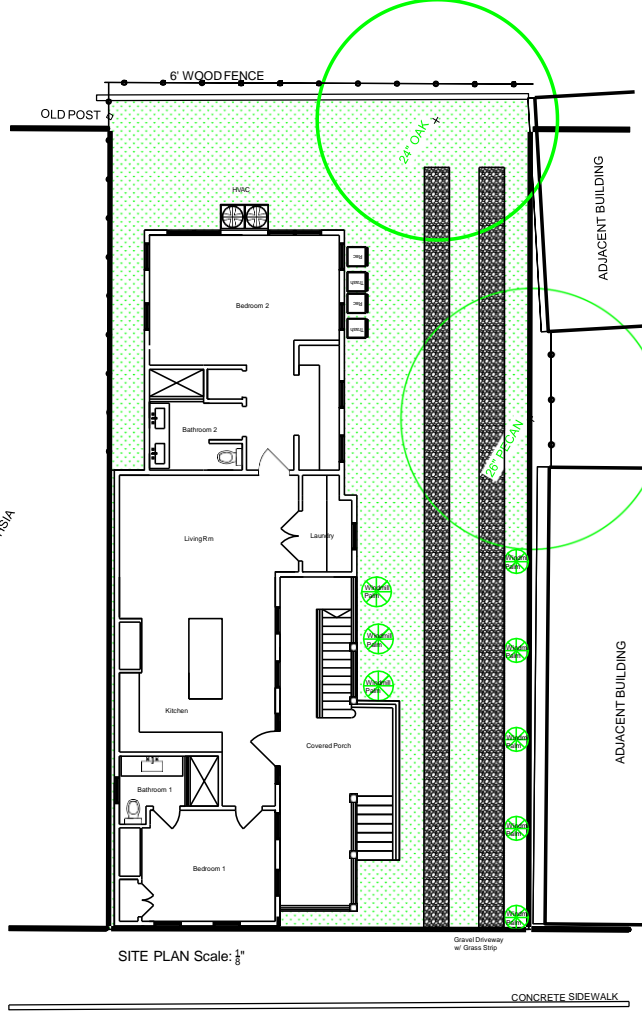


HHM Builders LLC
 -----Charleston SC-----

Harrison Malpass
 78 Smith St
 Charleston SC 29401

18 Felix St
 Charleston SC, 29403

20 FELIX ST.
TMS# 460-12-01-030
OWNER: BELINDA HSA



FELIX STREET 40' R/W

16 FELIX ST.
TMS# 460-12-01-028
OWNER: 16 FELIX LLC

HHM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401

Page 2

18 Felix St
Charleston SC, 29403

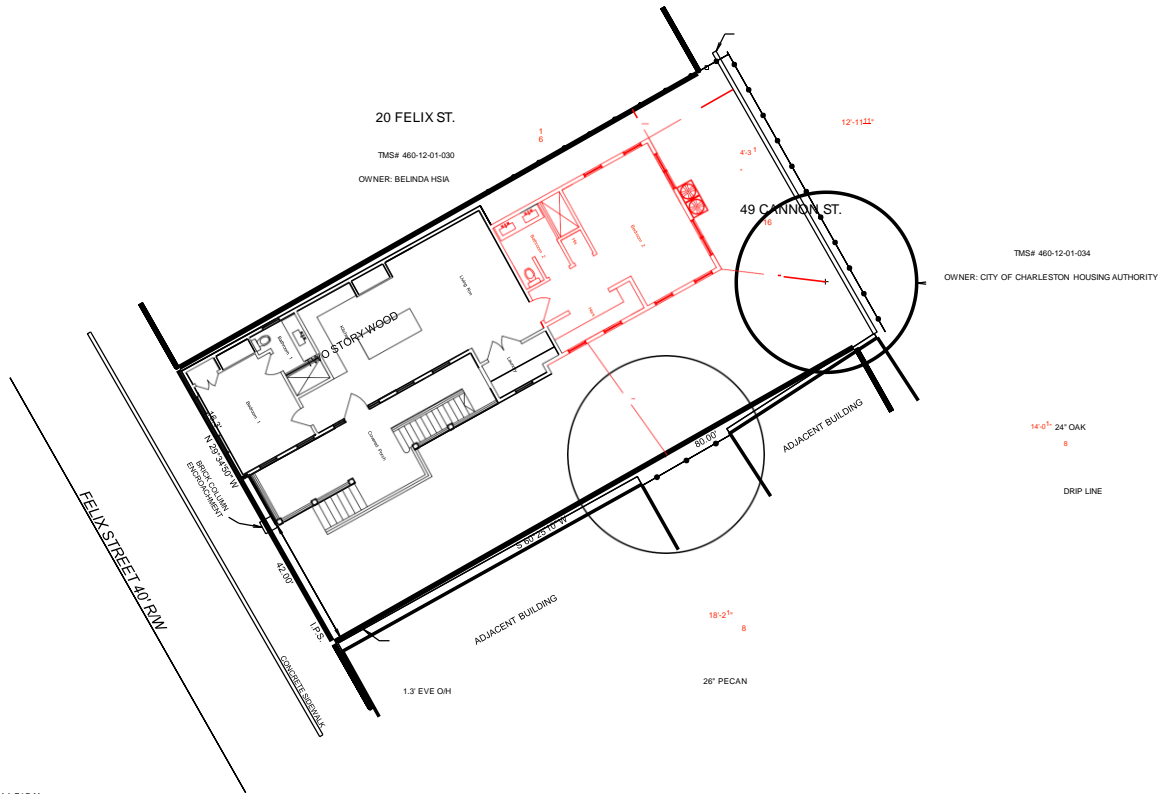
REFERENCES:
1. DEED BOOK A278, PAGE 592.

NOTES:

1. PROPERTY IS LOCATED IN FLOOD ZONE 'AE(13)' ACCORDING TO F.E.M.A.F.I.R.M. MAP PANEL 45019 0512 C, DATED 11-17-2004.
2. THE AREA SHOWN HERE ON WAS DETERMINED BY THE COORDINATE METHOD.
3. PROPERTY IS ZONED DR-2F.
4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
5. TMS# 460-12-01-029.
6. DEED BK. A278, PAGE 592.
7. PROPERTY OWNER OF RECORD AT TIME OF SURVEY: JIMCROW.
8. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS SURVEY IS FOR DESCRIPTIVE PURPOSES ONLY, AND WAS NOT SURVEYED.
9. BOUNDARY LINES DEPICTED BASED ON LINES OF OCCUPATION OF LONG DURATION, AND FOUND MONUMENTS.



I, HAROLD B. NIELSON, JR., A PROFESSIONAL ENGINEER AND LAND SURVEYOR
IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY
PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON



HMM Builders LLC
-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401



M
S

6
-
1
2
-
0
1
-
0
3
0
O
W
N
E
R
-

N 60°25'10"E

TWO STORY WOOD
FRAME CONSTRUCTION

34.5'
TWO STORY PORCH
33.0'

ADJACENT BUILDING

TMS# 460-12-01-034

OWNER: CITY OF CHARLESTON HOUSING AUTHORITY

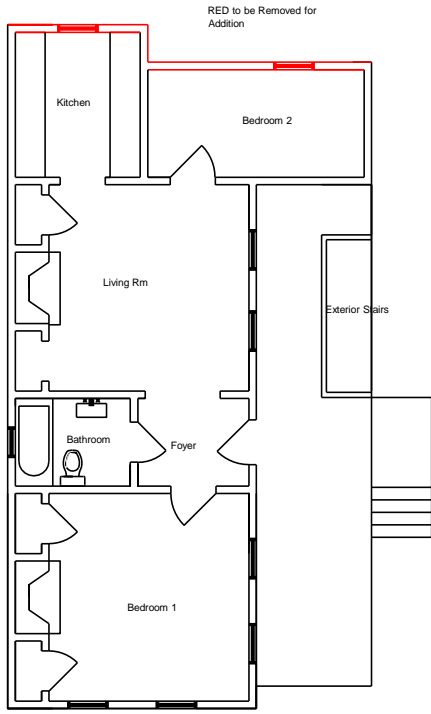
1.5' HIGH C.M.U. BLOCK WALL

HHM Builders LLC
-----Charleston SC-----

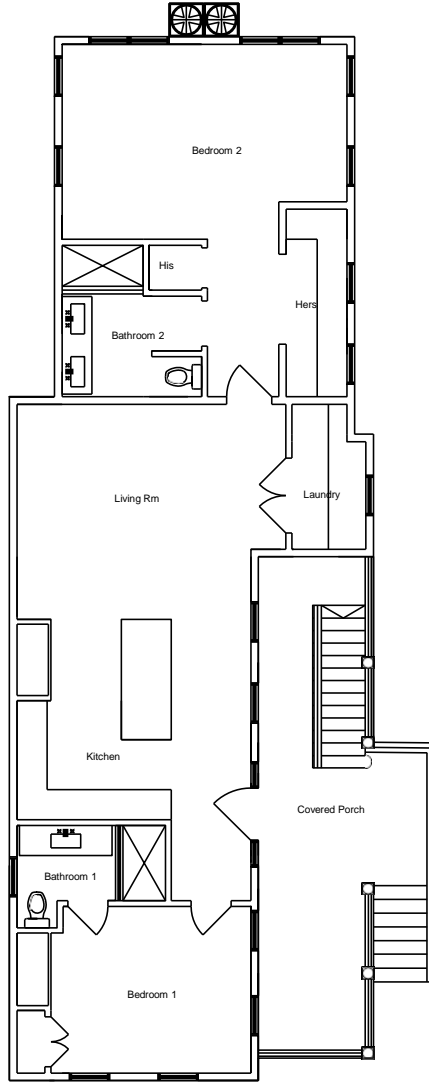
Harrison Malpass
78 Smith St
Charleston SC 29401

Page 4

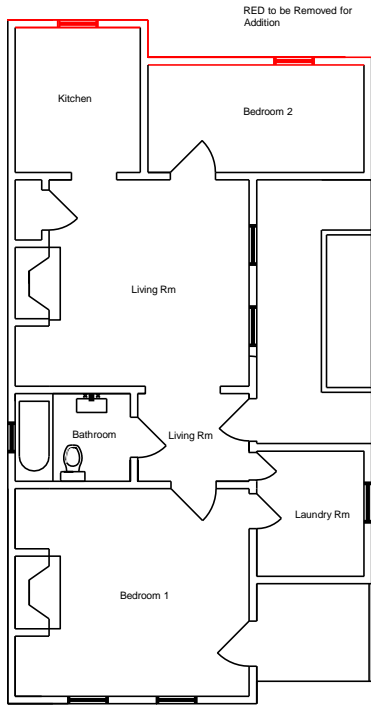
18 Felix St
Charleston SC, 29403



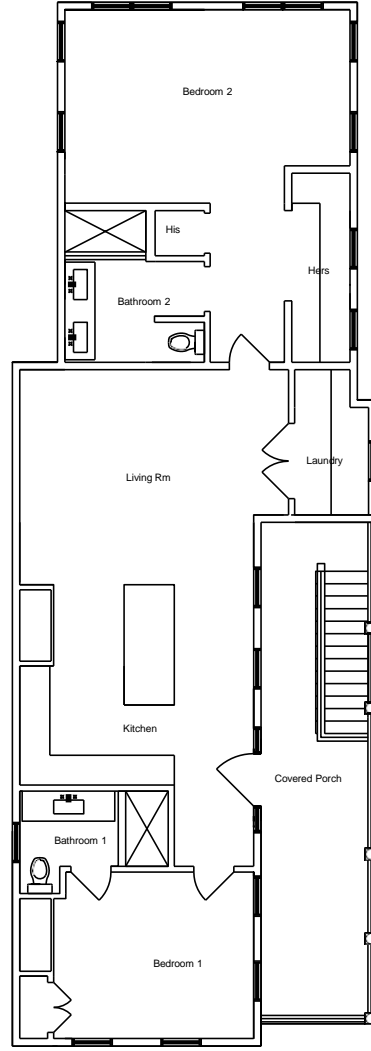
UNIT A: 1st Floor Existing
Scale: $\frac{3}{16}$ "



UNIT A: 1st Floor Proposed
Scale: $\frac{3}{16}$ "



UNIT B: 2nd Floor Existing
Scale: $\frac{3}{16}$ "



UNIT B: 2nd Floor Proposed
Scale: $\frac{3}{16}$ "



West Elevation Existing Scale: $\frac{1}{4}$ "

Add solid cedar shutters and copper flashing

Restore existing historic double hung windows



West Elevation Proposed Scale: $\frac{1}{4}$ "

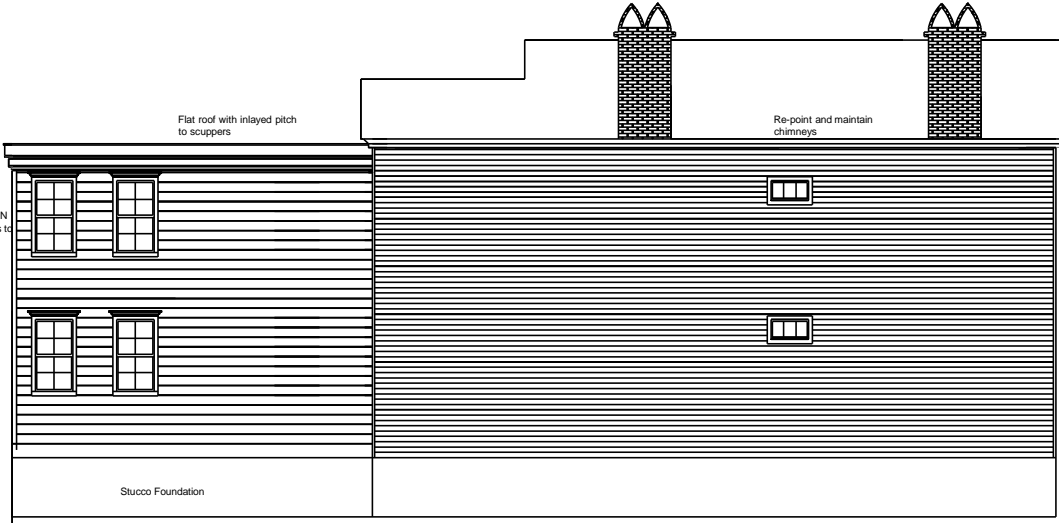


South Elevation Proposed Scale: $\frac{3}{16}$ "

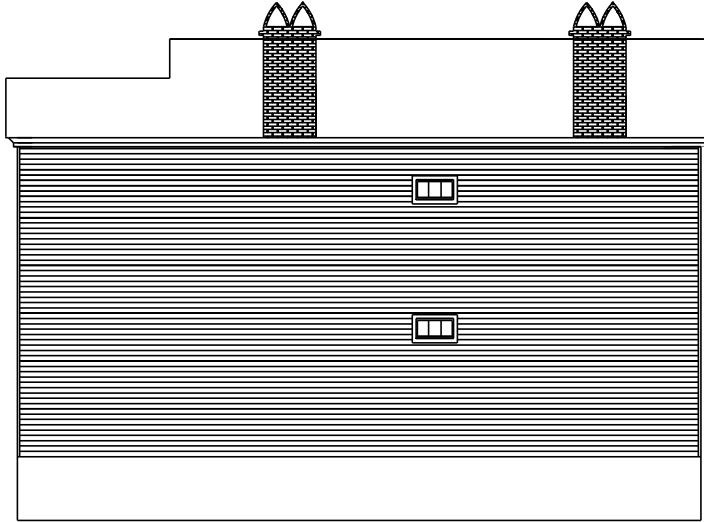


South Elevation Existing Scale: $\frac{3}{16}$ "

All wood clad MARVIN
double hung windows to
conform with energy
code/FEMA



North Elevation Proposed Scale: $\frac{3}{16}$ "

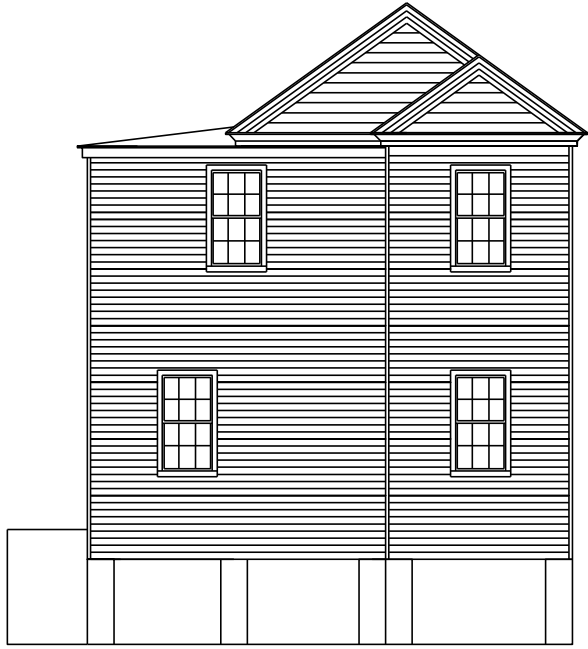


North Elevation Existing Scale: $\frac{3}{16}$ "

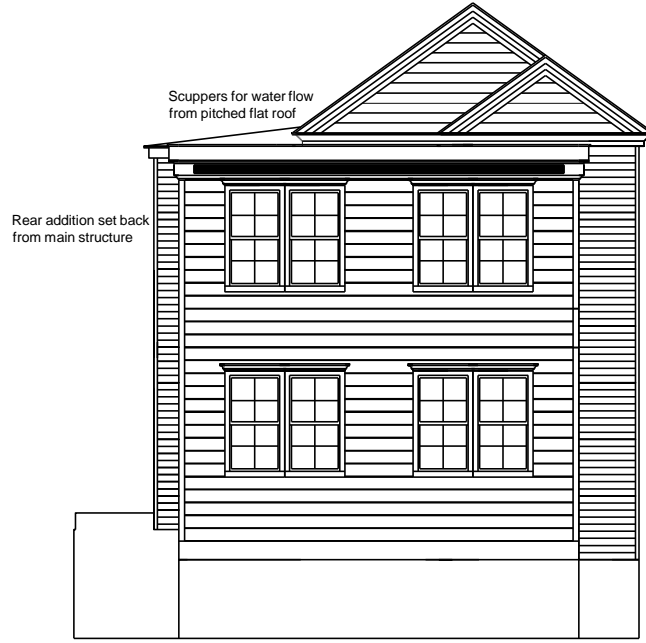
HHM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401



East Elevation Existing Scale: $\frac{1}{4}$ "



East Elevation Proposed Scale: $\frac{1}{4}$ "



West/South Elevation



East Elevation



West Elevation



North Elevation

Agenda Item 11:

69 Meeting Street - - TMS#457-12-04-024

Request final approval for modification of fenestration on carriage house, and use of insulated glass at rear sunroom.

Category 2 / Charlestowne / c.1796-1800 / Old and Historic District



CONCEPTUAL B.A.R. APPROVAL RECEIVED 09.14.2017
CONDITIONAL FINAL B.A.R. APPROVAL RECEIVED 12.04.2017

Cover

BAR BOARD REVIEW AND PROPOSED PLANS & ELEVATIONS

A001	BAR Board Reviewed Conceptual Siteplan
A002	Proposed Siteplan
A101	First Floor Plan
A202	Garden Elevations

DETAILS

PH101	Carriage House Photos and Cutsheets
PH102	Solarium Cutsheets and Precedent Photographs

B.A.R. SUBMISSION SET
TAYLOR 69 MEETING STREET | FOR 02.22.2018 MEETING



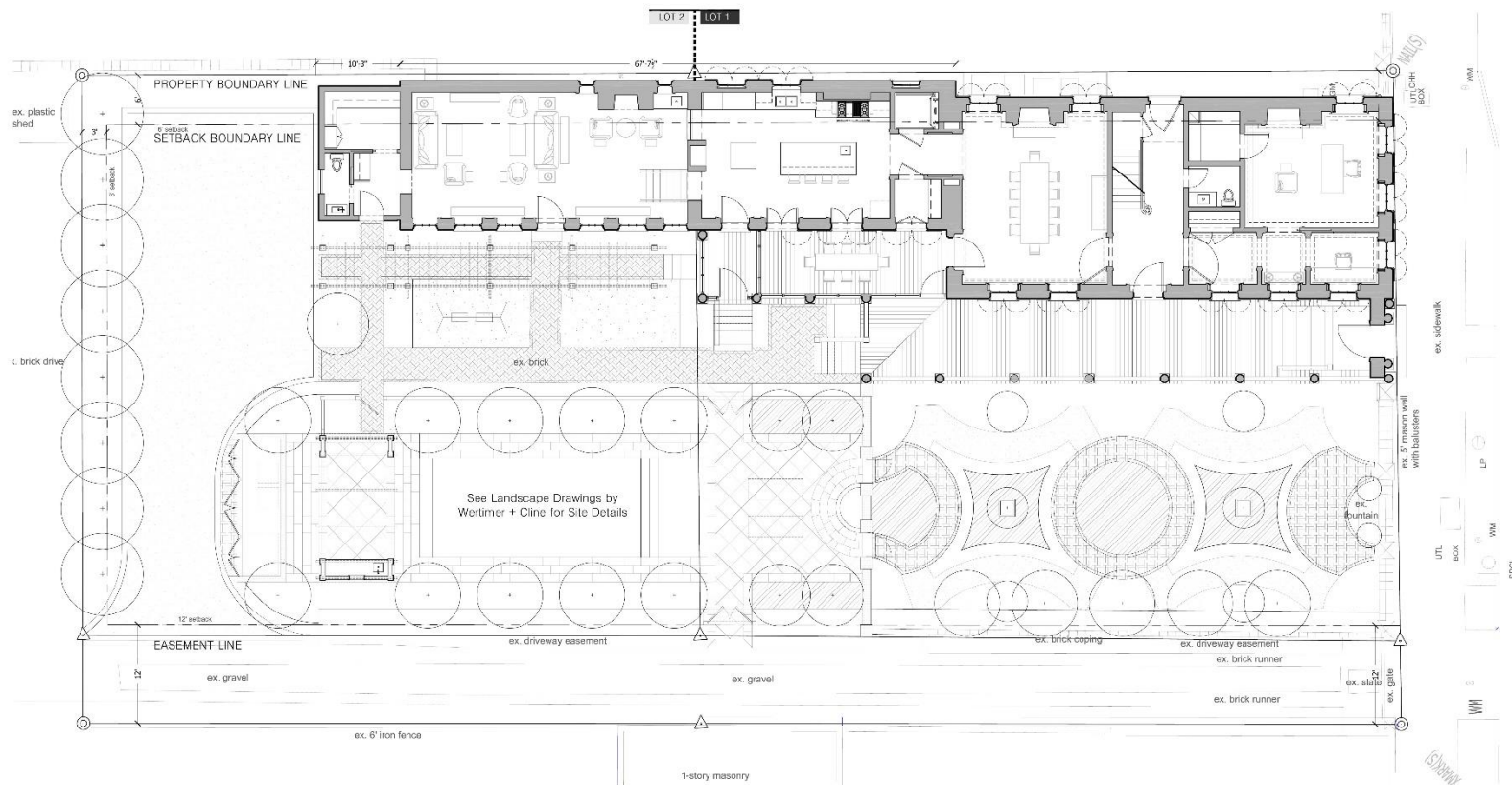


October 27, 2017

Taylor Residence | 69 Meeting Street | Charleston, South Carolina, 29401

e.s. FINE ARCHITECTS, INC. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | esfineva.com

e. PH102



1 B.A.R. BOARD APPROVED SITE PLAN 9.14.2017

5288 J. Neurosci., July 26, 2006 • 26(30):5283–5292

Zoning Designation SR-3

Existing structure is split by two vertical exterior walls.

LOT 1 | PER SURVEY

Lot Size 6,750 SF

Allowable Lot Occupancy
(35%)

Total allowable building occupancy 2,362 SF

Existing Lot Occupancy
(42%)

Total existing building occupancy 2,851 SF

Proposed Lot Occupancy
(42%)

Total proposed building occupancy 2,851 SF

LOT 2 | PER \$ FIVE

Lot Size 5.911 SF

Allowable Lot Occupancy
(35%)

Total allowable building occupancy: 2,068 SF

Existing Lot Occupancy
(11%)

Total existing building occupancy 653 SF

Proposed Lot Occupancy
(19%)

Existing Carriage House	653 SF
-------------------------	--------

LANDSCAPE ELEMENTS / by walter de laub

Pavilion 188 SF

Total proposed building occupancy 1,135 SF

Required Setbacks

FRONT (East)	None Required
REAR (West)	3'
SIDE (North)	6'
SIDE (South)	12'

Allowable Building Height

35' / 2.5 Stories

*Per City of Charleston Zoning Article 3, Part 1
Section G4-301 Table 3.1

www.CivilandMechanical.co.uk
 01 700 900 000
 01 700 900 000 | 01 700 900 000

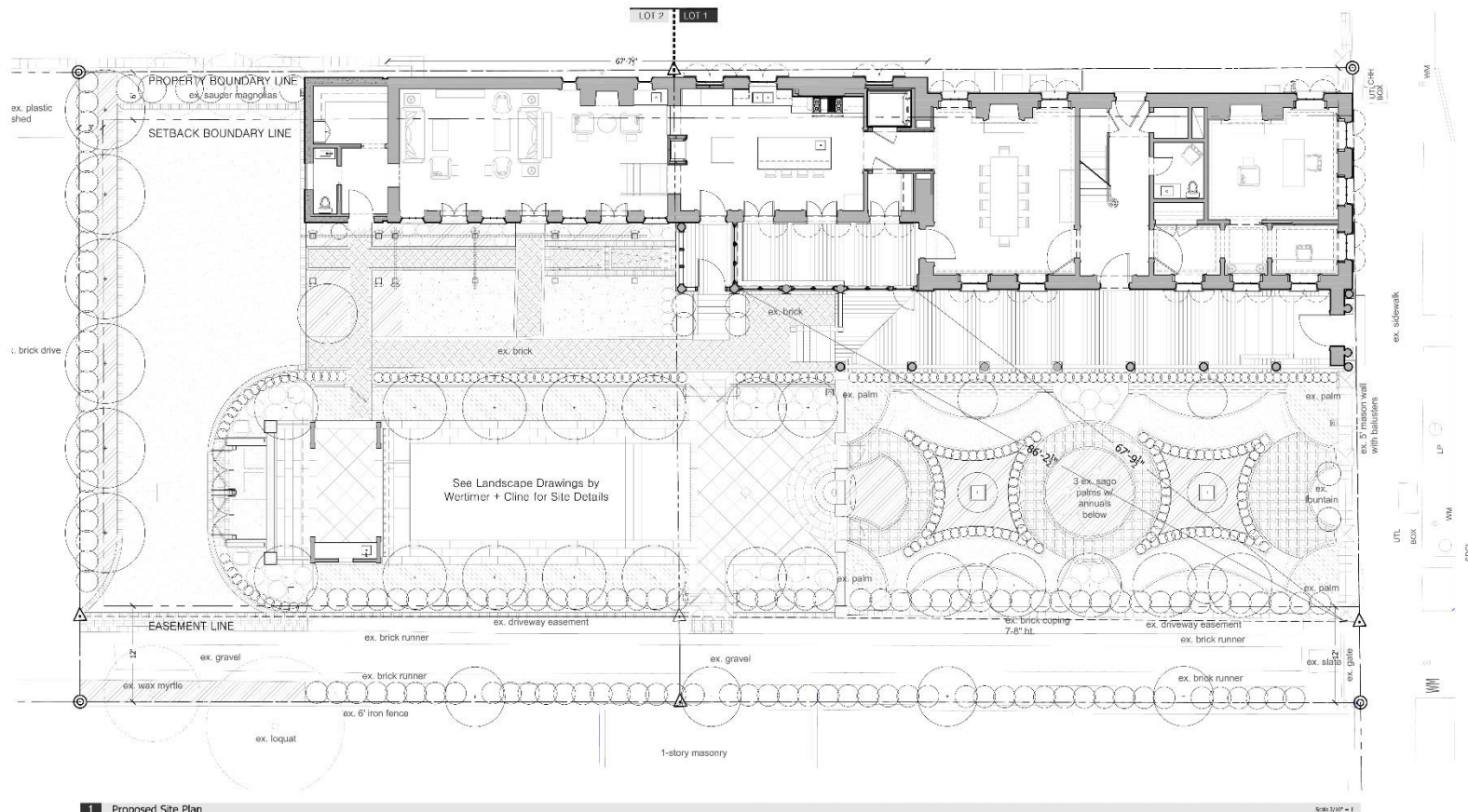
February 07, 2018

Taylor Residence | 69 Meeting Street | Charleston, South Carolina, 29401

eefava architects, etc. inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

e. B.A.R. Approved Site Plan
A001

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF eeflava architects, etc., inc. ALL RIGHTS RESERVED. DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2018. Note: This document is a preliminary drawing and is not for construction. It is subject to change without notice. eeflava architects, etc., inc. 04 Broad Street, Charleston, South Carolina 29401 | 843.723.5099 | eeflava.com



1 Proposed Site Plan

Zoning Designation SR-3
Note: Existing structure is right to left, site is outlined below

LOT 1 | PER SURVEY

Lot Size 6,750 SF

Allowable Lot Occupancy (35%)

Total allowable building occupancy 2,362 SF

Existing Lot Occupancy (42%)

Total existing building occupancy 2,851 SF

Proposed Lot Occupancy (42%)

Total proposed building occupancy 2,851 SF

LOT 2 | PER SURVEY

Lot Size 5,911 SF

Allowable Lot Occupancy (35%)

Total allowable building occupancy 2,068 SF

Existing Lot Occupancy (11%)

Total existing building occupancy 653 SF

Proposed Lot Occupancy (19%)

Existing Carriage House 653 SF

Addition 186 SF

LANDSCAPE ELEMENTS / by Wertimer+Cline

Pavilion 188 SF

Trash/Equipment Enclosure 108 SF

Total proposed building occupancy 1,135 SF

Required Setbacks

	None Required
FRONT (East)	
REAR (West)	3'
SIDE (North)	4'
SIDE (South)	12'

Allowable Building Height

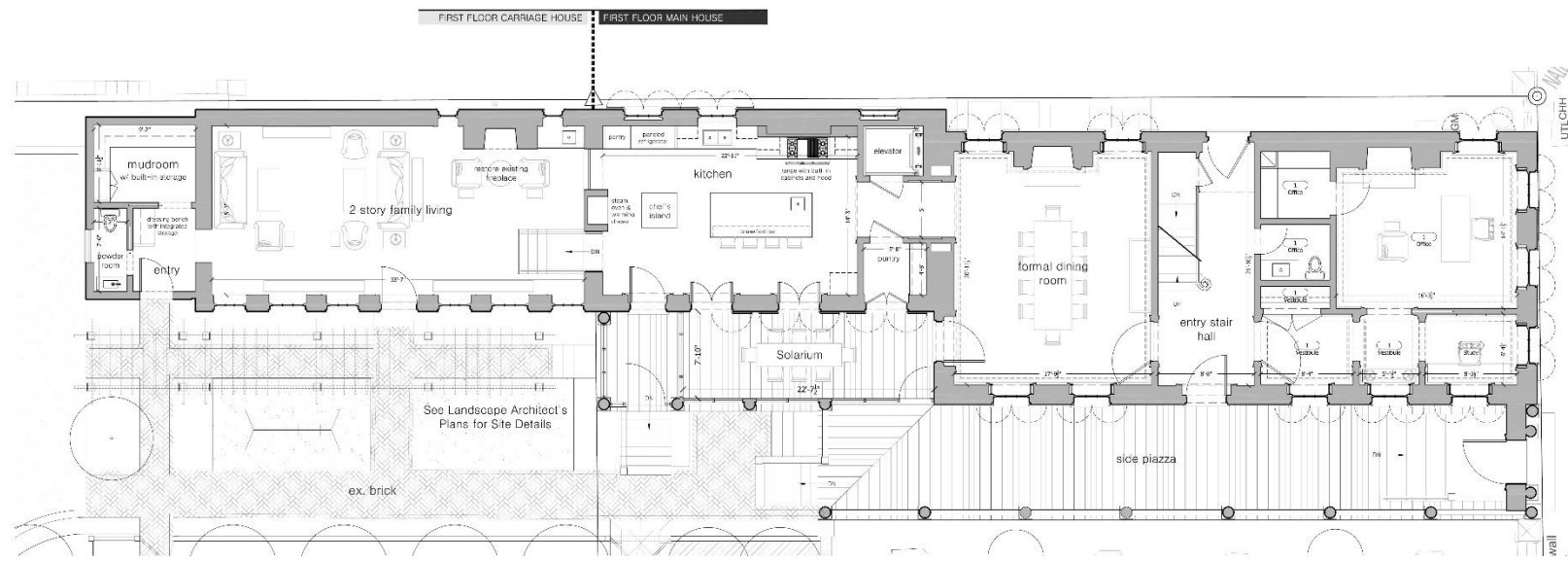
35' / 2.5 Stories

*Per City of Charleston Zoning Article 3, Part 1 Section 04-301 Table 3.1



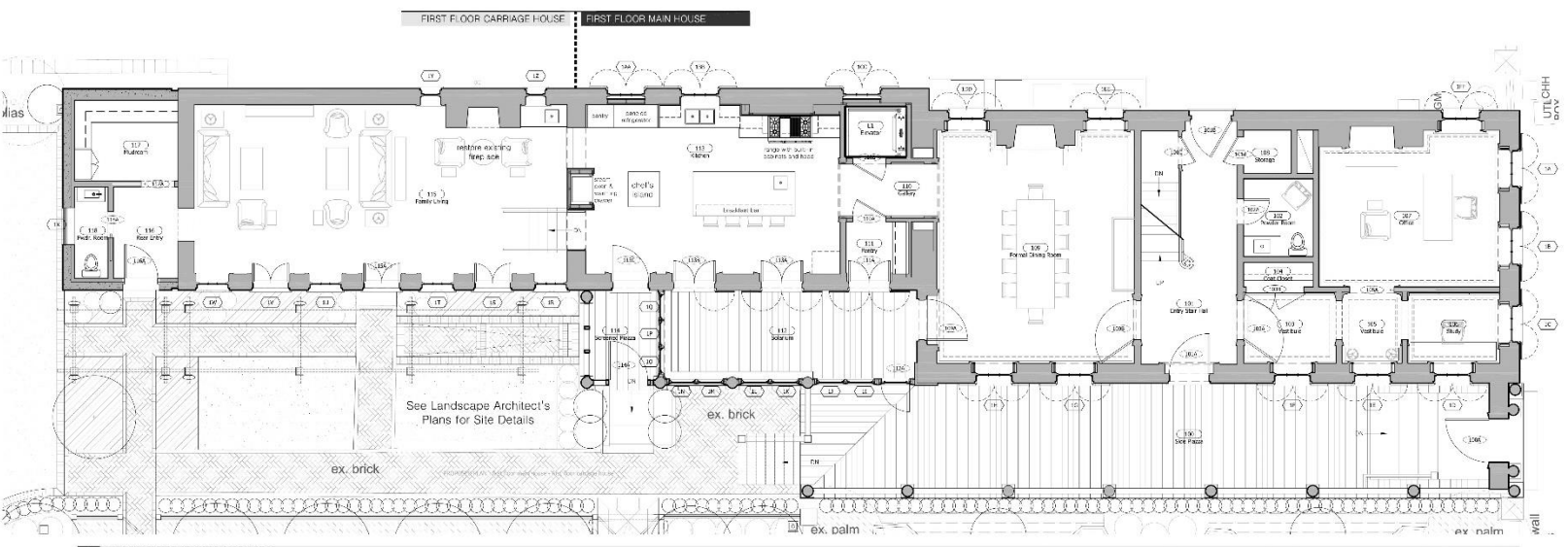
February 07, 2018

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF eefawa architects, etc., INC. ALL RIGHTS RESERVED - DRAWINGS NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER REPRODUCED WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2018. eefawa architects, etc., INC. 04 Broad Street, Charleston, South Carolina 29401. 843.723.5099 | eefawa.com



1 B.A.R. BOARD APPROVED PLAN 9.14.2017 | first floor main house - first floor carriage house

Scale 1/4" = 1'



2 PROPOSED FIRST FLOOR PLAN

Scale 1/4" = 1'

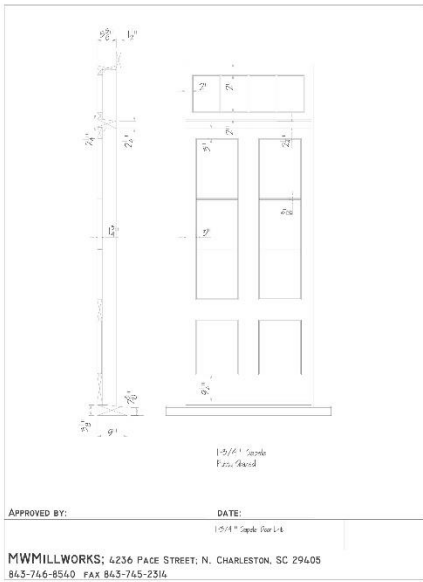
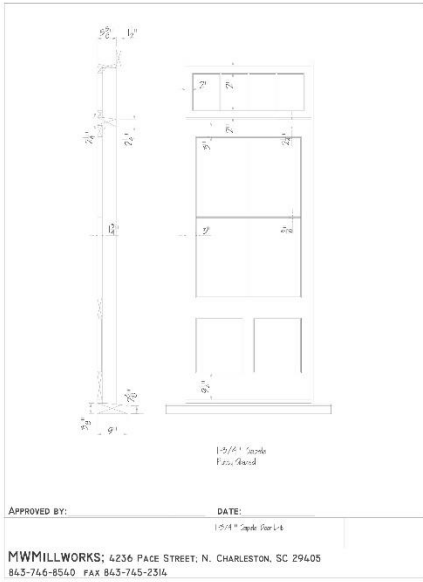
Taylor Residence | 69 Meeting Street | Charleston, South Carolina, 29401

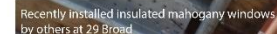
eefawa architects, etc., inc. | 04 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefawa.com

February 07, 2018

e. 101

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF eeflavor architects, etc., inc. ALL RIGHTS RESERVED - DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2018. eeflavor architects, etc., inc. is a registered professional architectural firm in the state of South Carolina. This drawing is a preliminary drawing and is not to be used for construction without the written approval of eeflavor architects, etc., inc.





Agenda Item 12:

9 Gibbs Street - - TMS#457-16-03-123

Request final approval to elevate existing residence.

Category 4 / Charlestowne / pre-1888 / Old and Historic District

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF eefava architects, etc. - ALL RIGHTS RESERVED - DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT 2018. Note: These drawings are solely representations of the intended conditions for the structure located at 9 Gibbs Street, Charleston, SC. They are not to be used in any way for reference and should be verified by all professionals utilizing these documents for any other purpose.



CONTENTS

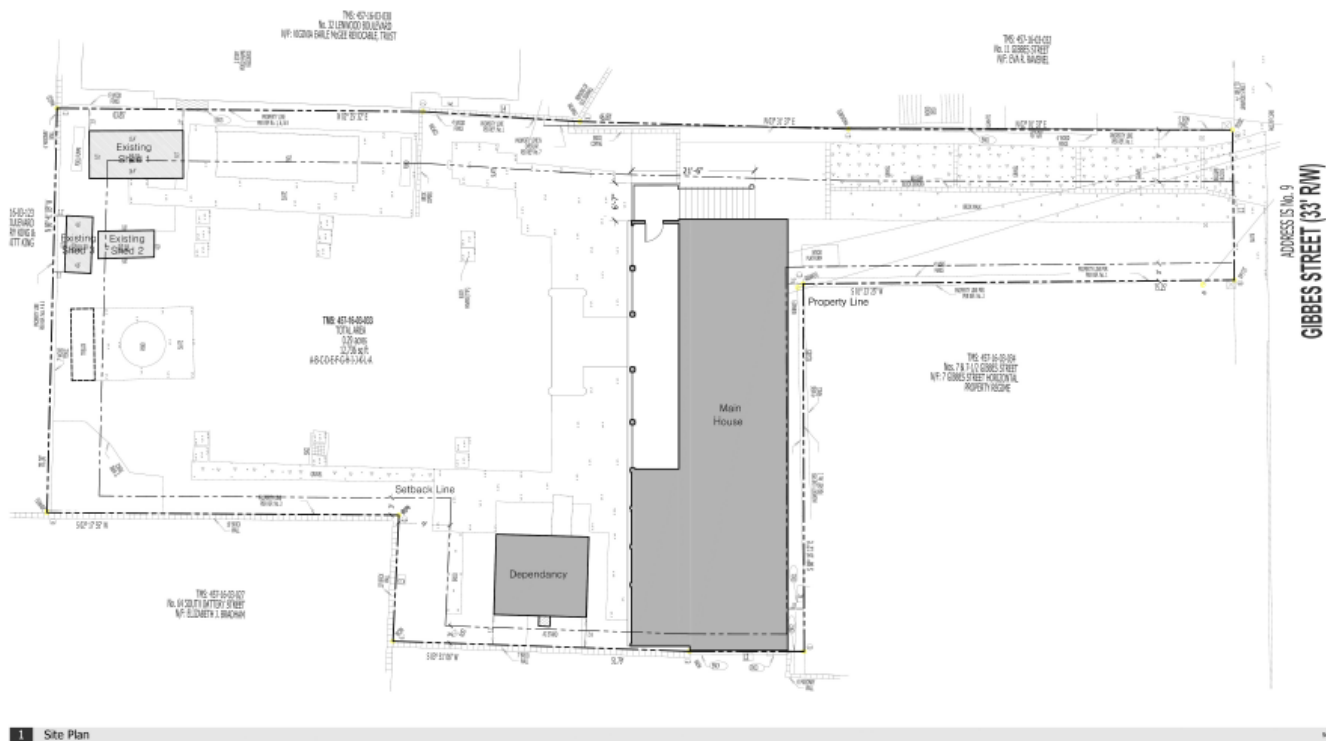
A100	Siteplan
A101	Streetscape & Precident Photos
RAISED ELEVATIONS	
A200	Streetscape Elevations
A201	Sideview Street Elevations (NORTH)
A202	Drive Elevations (WEST)
A203	South and East Elevation Overlays

B.A.R. SUBMISSION SET
9 GIBBES STREET / FOR 02.09.2018 MEETING

Morrison Residence | 9 Gibbs Street | Charleston, South Carolina, 29401

eefava architects, etc. inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

e. 02.09.2018



General Notes

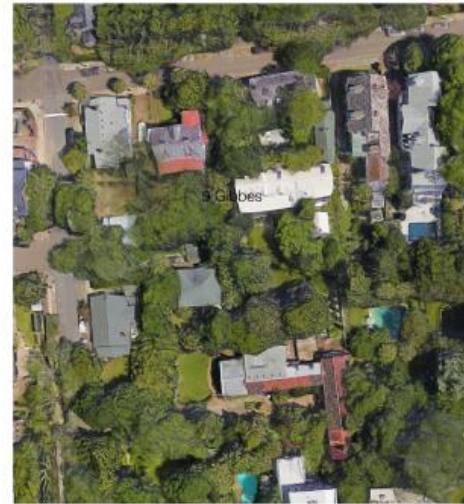
1. Contractor shall maintain a neat & orderly construction site at all times and shall take steps for the appropriate allocation of construction debris. Contractor's hours, access, staging area, materials, and methods shall be subject to the contractor's approval and approved by Owner prior to commencement of work.
2. The building shall remain secure and weather tight at all times.
3. Contractor shall be responsible for securing of material permits and approvals necessary to relocate and construct specified work.
4. All demolition and construction shall be in accordance with current applicable building codes and local regulations, including, but not limited to, the City of Charleston's Board of Zoning Appeals and the State of South Carolina Board of Adjustments and Appeals (SBA).
5. Contractor shall protect all existing doors, windows, ceilings, mechanical, electrical, and structural components, and floor, wall, and ceiling surfaces specified to remain, throughout.
6. Contractor shall protect all existing structural components and foundation elements to remain throughout the project.
7. Contractor shall verify all structural components of any existing structure prior to commencement of work.
8. Contractor shall verify all structural components of any existing structure prior to commencement of work.
9. Contractor shall verify all structural components of any existing structure prior to commencement of work.
10. Contractor shall verify all structural components of any existing structure prior to commencement of work.
11. Contractor shall verify all structural components of any existing structure prior to commencement of work.
12. Contractor shall verify all structural components of any existing structure prior to commencement of work.
13. Contractor shall verify all structural components of any existing structure prior to commencement of work.
14. Contractor shall verify all structural components of any existing structure prior to commencement of work.
15. Contractor shall verify all structural components of any existing structure prior to commencement of work.

1 Site Plan

Scale: 1/8" = 1'

eefava architects, etc.
INC.
54 Broad Street
Charleston, SC 29401
(843) 723-5099

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF eefava architects, etc. - ALL RIGHTS RESERVED. - DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT 2016 eefava architects, etc. - THIS IS THE PROPERTY OF eefava architects, etc. - NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. - NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. - NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



NEIGHBORHOOD CONTEXT MAP AND IMAGES



EXISTING GIBBS STREETSCAPE PHOTOGRAPHS

PRECEDENT ENTRY PHOTOGRAPHS



48 CHURCH STREET



48 CHURCH STREET



13 WATER STREET



35 MEETING STREET

General Notes

1. Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor shall, during, cleanup, and demolition and debris, w.c. removal to be completed with and appropriate Owner prior to commencement of work.
2. The existing street shall remain an existing right of way.
3. Contractor shall be responsible for securing all adjacent property and easements to be affected by the proposed work.
4. All demolition and construction shall be in accordance with current applicable building codes and local regulations, including, but not limited to, the City of Charleston's Board of zoning figures and the State of South Carolina (Board of Adjustments and Hearings (BOA) reference).
5. Contractor shall protect all existing doors, windows, ramps, excavations, materials, steel reinforcement, and other, wall, and existing surfaces not to be removed. (10% off).
6. Contractor shall submit proposed plans with performance standards and to existing demolition boundaries. All elements shall be verified by Contractor prior to the commencement of work.
7. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
8. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
9. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
10. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
11. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
12. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
13. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
14. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
15. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
16. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.
17. Contractor shall submit all necessary permits and all necessary construction documents to the appropriate authority.

eefava architects, etc.
154 Broad Street
Charleston, SC 29401
843.723.5099

February 9, 2016

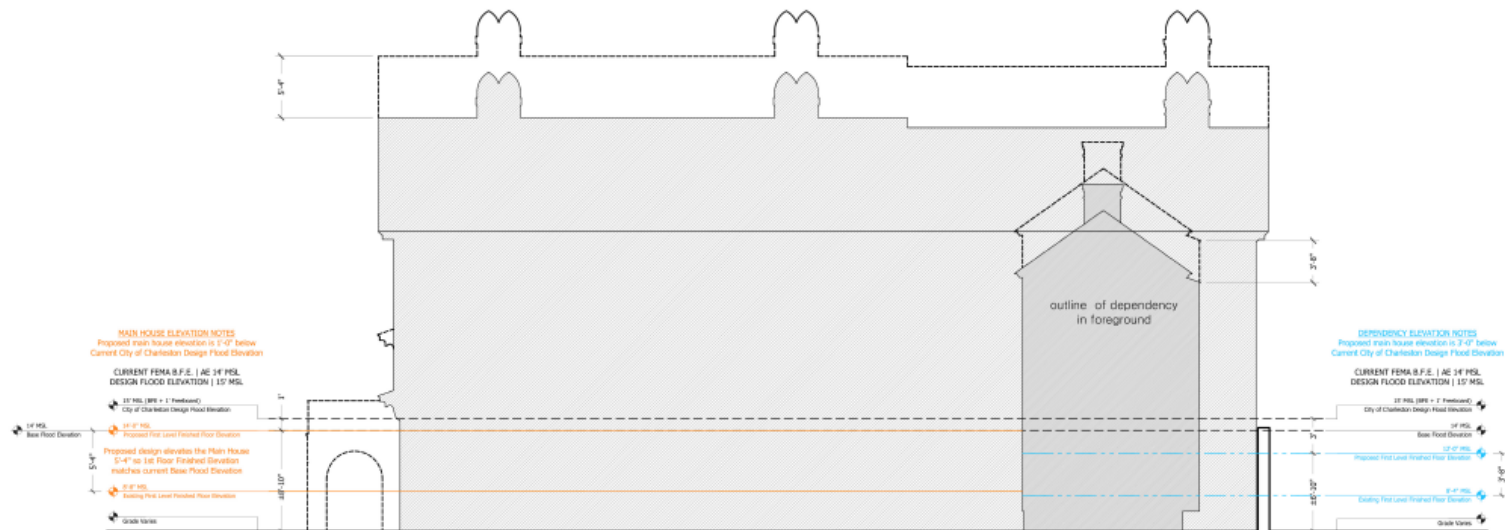
Revisions



1 Existing Gibbes Street Elevation



2 Raised Gibbes Street Elevation

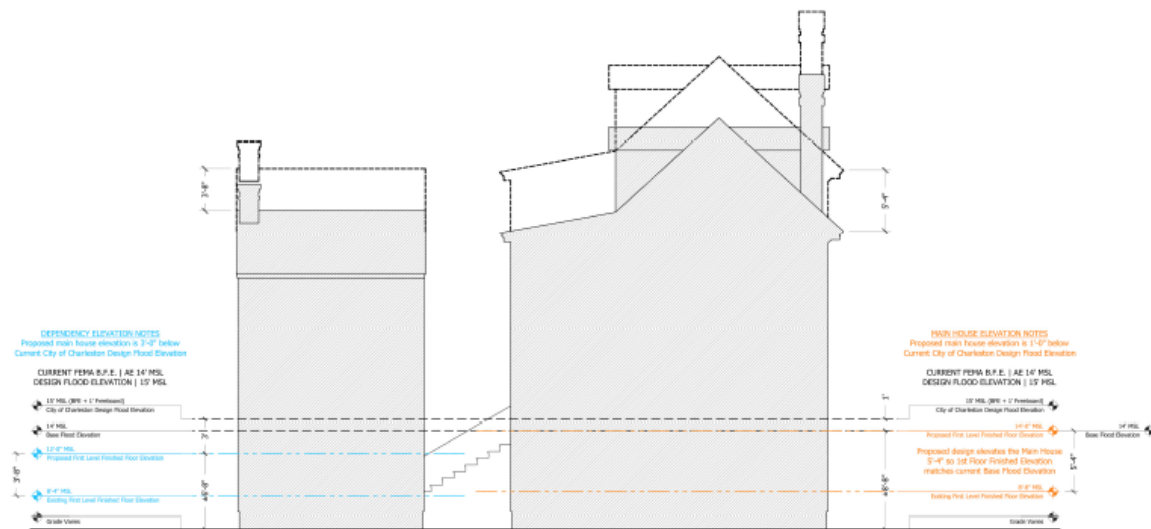


1 Existing + Raised Garden Elevation, SOUTH | NOT VISIBLE FROM PUBLIC RIGHT OF WAY

Scaling: $L(\mathcal{F}) = \mathcal{F}$

General Notes

- [illegible]



2 Existing + Raised East Elevation | NOT VISIBLE FROM PUBLIC RIGHT OF WAY

Scaling: $L(\theta^*) = F$

Agenda Item 13:

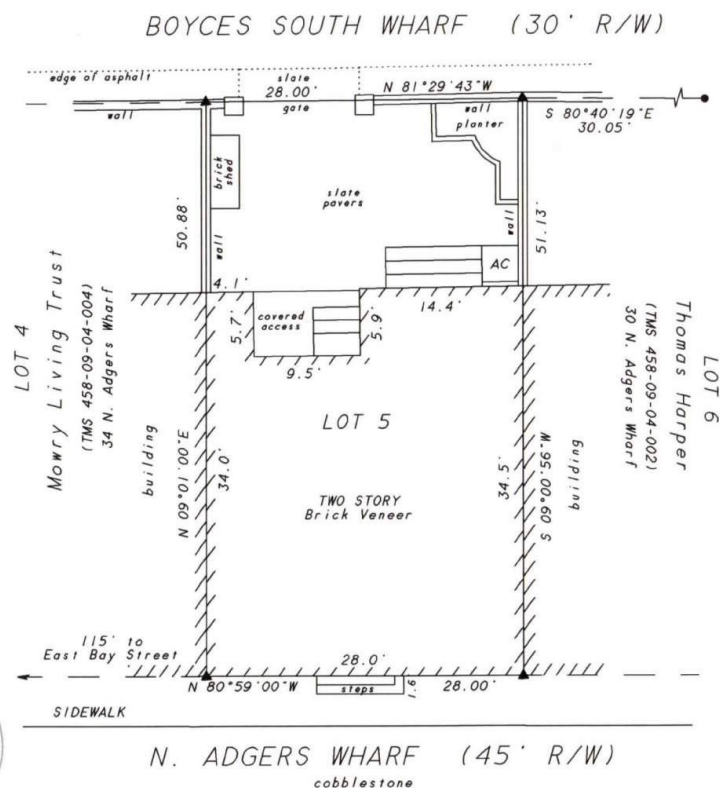
32 N. Adgers Wharf - - TMS# 458-09-04-009

Request conceptual approval to modify rear elevation, relocate HVAC to roof, and add additional window to front elevation.

Not Rated / Charlestowne / Early 1960s / Old and Historic District

- 5/8" Iron Rod Old
- ▲ Building / Wall Corner

1. Reference Tax Map Number 458-09-04-003
2. Reference Plat Book L Page 165
3. To Be Conveyed To: Susan R. McGovern & John E. Schellhorn
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
6. These lots have been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone AE(14'). (Area revised by LOMR effective May 5, 2014)
Ref. Map No. 45019C0518 J dated 11-17-2004
It is the responsibility of the owner and/or builder to verify the flood zone with the governing municipality prior to design and construction.
7. TOTAL AREA: 0.033 Acre 1428 Sq.Ft.



CLOSING SURVEY
32 N. ADGERS WHARF STREET
LOCATED
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein.

By: James G. Penington
James G. Penington, P.L.S. No. 10291

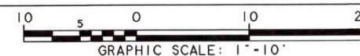
Bat



2065 SAVANNAH HIGHWAY
SUITE 2
CHARLESTON, SC 29407
PHONE (843) 571-5191
EMAIL: PalmettoIs@bellsouth.net

PREPARED EXCLUSIVELY FOR: Susan R. McGovern &
John E. Schellhorn

SITE LOCATION:	32 N. Adgers Wharf Charleston, SC
----------------	--------------------------------------



FIELD SURVEY DATE: 26 December 2017	FIELD SURVEY BY: RS	CLIENT PROJECT NO.: 8402
DRAWING DATE: 2 January 2018	DRAWN BY: JGP	DRAWING FILE NO.: 8402.DWG

1
SHEET
OF
1

PROPERTY INFO:

TMS# 459-09-04-009
LOT SIZE: 1,428 sq. ft. : 0.033 acres
LOT WIDTH: 26'-0"
LOT DEPTH: 51'-0"
FLOODZONE: AE 14
ZONING: DR-1F (ONE-FAMILY ATTACHED DWELLING)
YEAR BUILT: 1960

SETBACKS:

FRONT: REQUIRED: 0'-0"
EXISTING: 0'-0"
PROPOSED: 0'-0"

REAR: REQUIRED: 16'-0"
EXISTING: 16'-6"
PROPOSED: 16'-6"

SIDE: S SIDE: REQUIRED: 0'-0"
EXISTING: 0'-0"
PROPOSED: 0'-0"

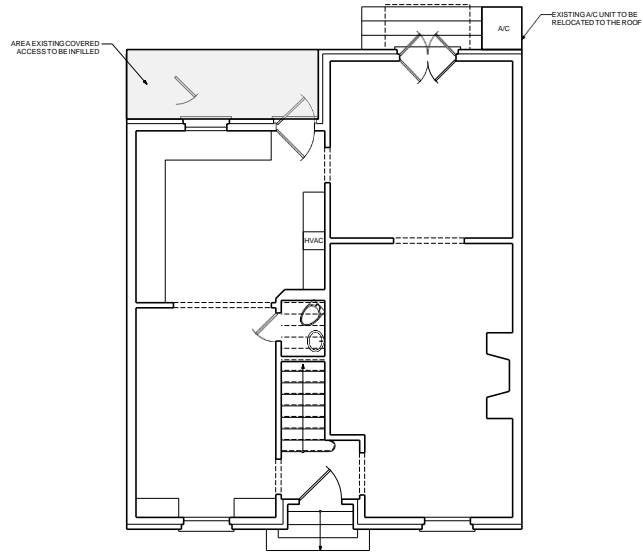
N SIDE: REQUIRED: 0'-0"
EXISTING: 0'-0"
PROPOSED: 0'-0"

LOT COVERAGE: (INCLUDES BUILDING FOOTPRINT, PORCHES, STAIRS, DECKS AT 3' OR GREATER ABOVE GRADE)

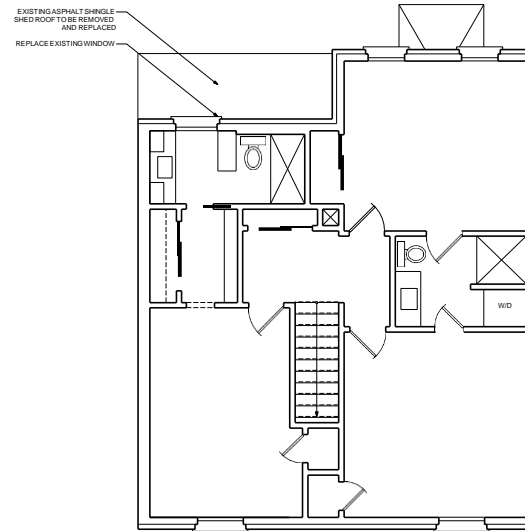
REQUIRED: 714 SF (50%)
EXISTING: 962 SF (67%)
PROPOSED: 962 (67%)



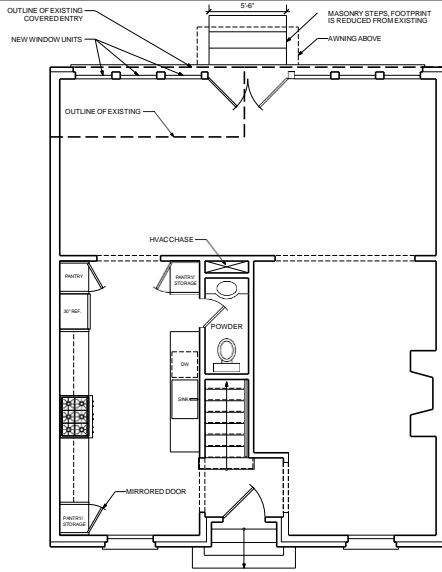
B E A U
CLOWNEY
a r c h i t e c t s
8 4 3 . 7 2 2 . 2 0 4 0
MCGOVERN-SCHELLHORN
32NORTHADGERS
CHARLESTON, SC
SITEPLAN
1/8" = 1'-0"
02.08.18



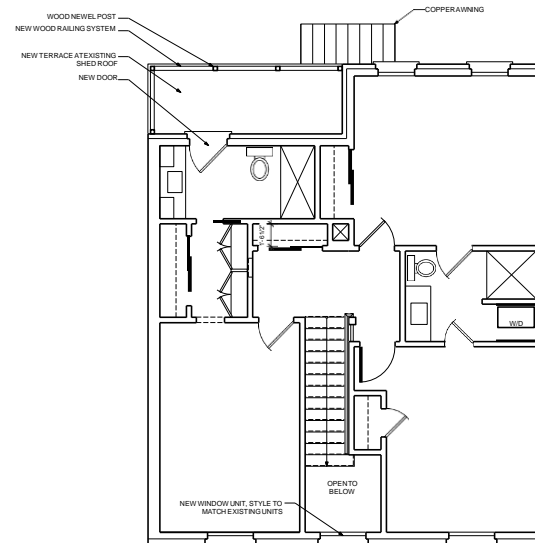
EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

©2019 BEAU CLOWNEY ARCHITECTS, LLC
All rights reserved. The reproduction or use
of any drawing or the design herein are subject to the
written consent of the Architect and owner.

NOTE: DIMENSIONS SHOWN ARE FROM
FACE OF STUD UNLESS NOTED
OTHERWISE



B E A U
C L O W N E Y
a r c h i t e c t s

843.722.2040

MC GOVERN-SCHELLHORN
32 NORTH ADERS WHARF C
HARLESTON, SC
FLOOR PLANS
1/8"=1'-0"
02.13.19

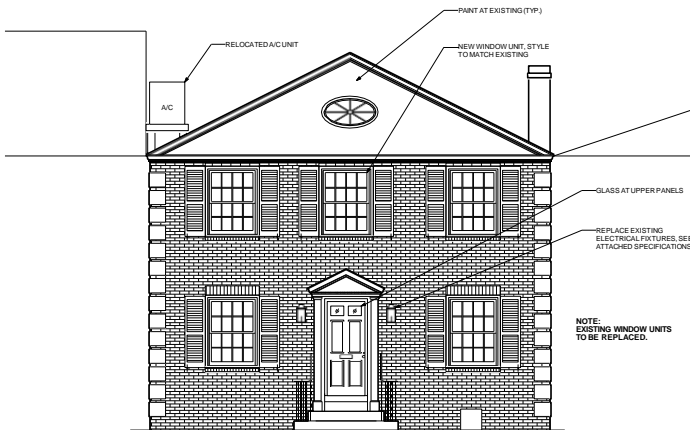
A1.1



EXISTINGFRONTELEVATON (N.ADGERS)



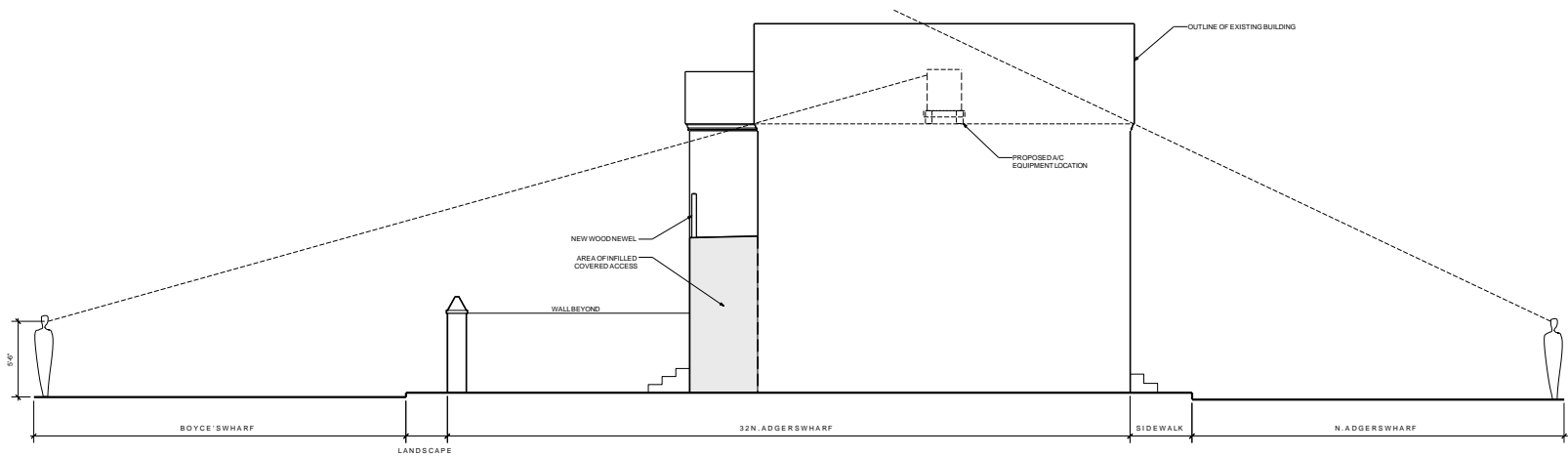
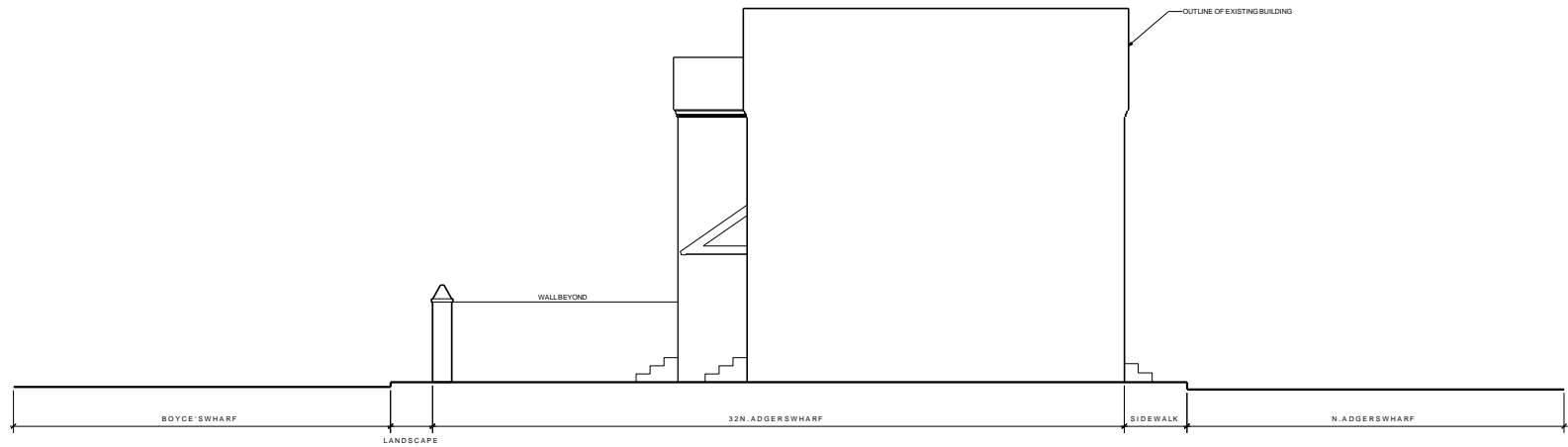
EXISTINGREARELEVATION (BOYCESWHARF)



PROPOSEDFRONTELEVATON (N.ADGERS)



PROPOSEDREARELEVATON (BOYCES)



B E A U
C L O W N E Y
a r c h i t e c t s
8 4 3 . 7 2 2 . 2 0 4 0
MCGOVERN-SCHELLHORN
32NORTHADGERSWHARF C
HARLESTON, SC
SECTION/DIAGRAM
1/8"=1'-0"
02.14.18



NORTHADGERSWHARFSTREETSCAPE



BOYCESWHARFSTREETSCAPE



VIEW FROM STREET



VIEW FROM GARDEN



VIEW FROM BOYCE SWHARF



EXISTING A/C UNIT



VIEW FROM NORTH ADGERS WHARF



38N.ADGERSWHARF



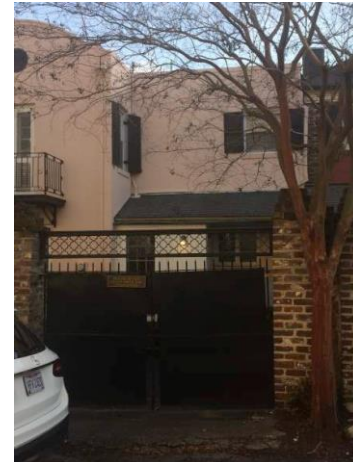
38N.ADGERSWHARF-REARELEVATION



40N.ADGERSWHARF



STREETSCAPE-BOYCE'SWHARF



40N.ADGERSWHARF-REARELEVATION



32N.ADGERSWHARFVIEWFROMBOYCES



30N.ADGERSWHARFACLOCATION



38N.ADGERSWHARFACLOCATIONONROOF

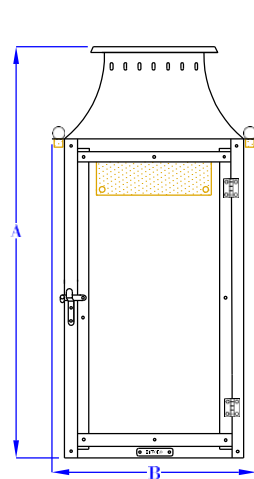


FRONTDOORPRECEDENT

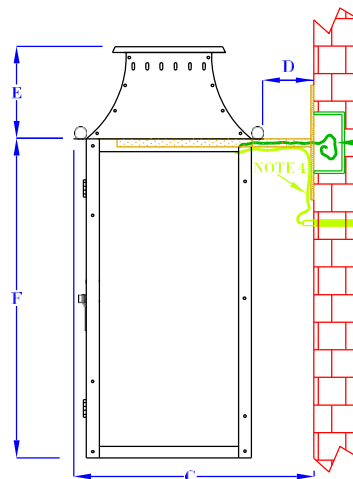


FRONTDOORPRECEDENT

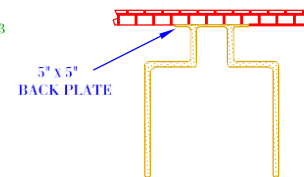




FRONT VIEW
(NTS)



SIDE VIEW
(NTS)



TOP VIEW
(NTS- BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{5}{16}$ " COPPER GAS LINE AND $\frac{5}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR
PLEASE NOTE: 10", 12" BRACKET MOUNT SIZES ARE NOT SOLD IN GAS.

SIZE:	10"	12"	15"	18"
A:	10 $\frac{1}{8}$ "	12 $\frac{1}{8}$ "	15 $\frac{1}{8}$ "	18 $\frac{1}{8}$ "
B:	7 $\frac{1}{4}$ "	8 $\frac{3}{4}$ "	7 $\frac{1}{4}$ "	8 $\frac{3}{4}$ "
C:	8 $\frac{5}{8}$ "	10 $\frac{1}{8}$ "	8 $\frac{5}{8}$ "	10 $\frac{1}{8}$ "
D:	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "
E:	3 $\frac{1}{4}$ "	3 $\frac{1}{4}$ "	3 $\frac{1}{4}$ "	3 $\frac{1}{4}$ "
F:	6 $\frac{7}{8}$ "	8 $\frac{7}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{7}{8}$ "

BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	WILLIAMSBURG 10", 12", 15", 18"
BRACKET:	BRACKET MOUNT

DRW BY:	JJG
DATE:	APP. BY: MAJ
10-30-2009	REVISION: 1

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE REPLICATED IN WHOLE OR PART.

Agenda Item 14:

43 Reid Street - - TMS#459-09-03-015

Request conceptual approval to elevate existing residence.

Category 3 / East Side / c.1880s / Old City District

43 REID ST

CONCEPTUAL BAR SUBMITTAL

02.22.2018

CHARLESTON, SC 29403

TMS: 4590903015

CATEGORY 3 "SIGNIFICANT" HISTORIC STRUCTURE

ZONING DISTRICT: DR-2F

FLOOD ZONE: AE(13)

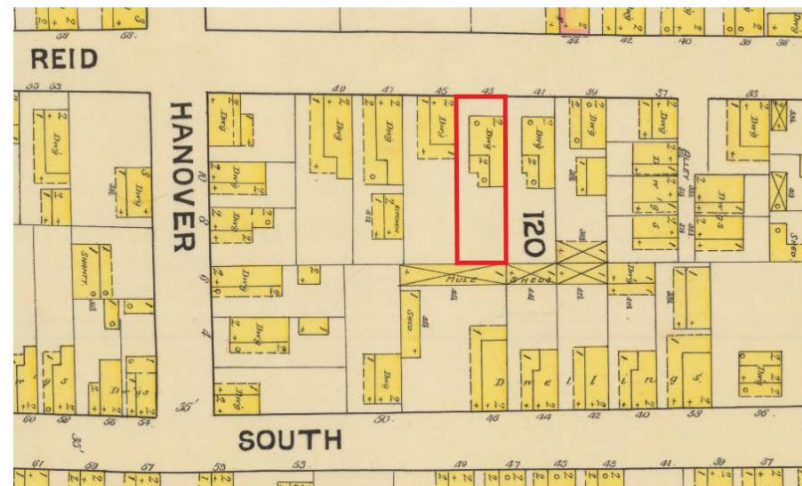
FINISH FLOOR AT 7.66 ' PER ELEVATION CERTIFICATE

SCOPE OF WORK

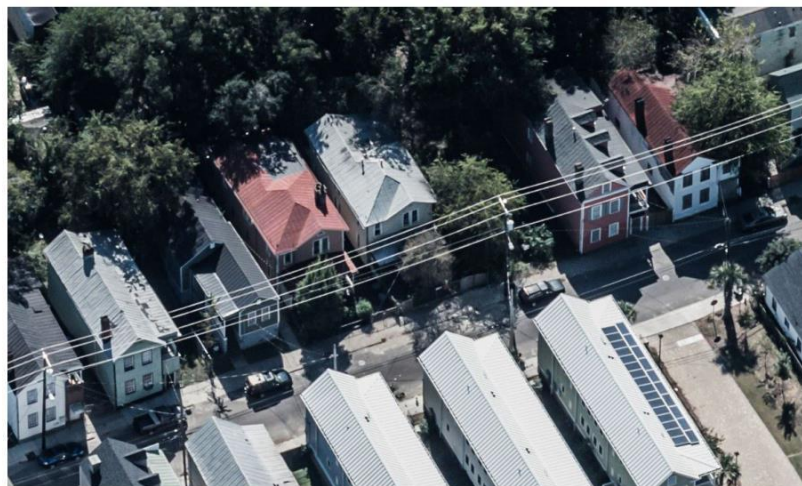
1. ELEVATE HISTORIC RESIDENCE +/- 6.5' AND REPLACE NON-HISTORIC FOUNDATION
2. PROVIDE NEW FRONT STAIR AND ELEVATED PLANTER BED
3. ENCLOSE REAR NON-HISTORIC PORCH
4. ADD NEW REAR 1-STORY PORCH AND STAIR



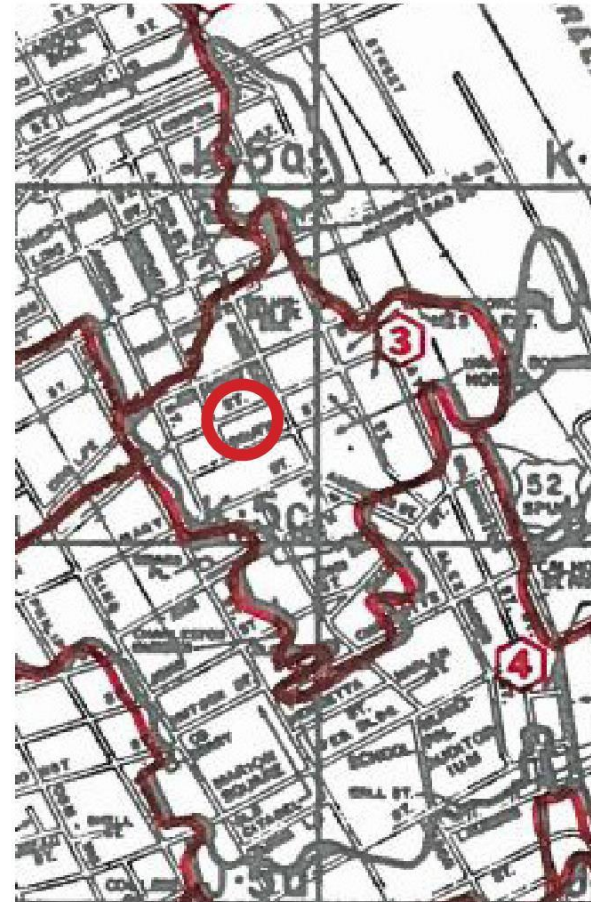
ZONING MAP



1888 SANBORN MAP

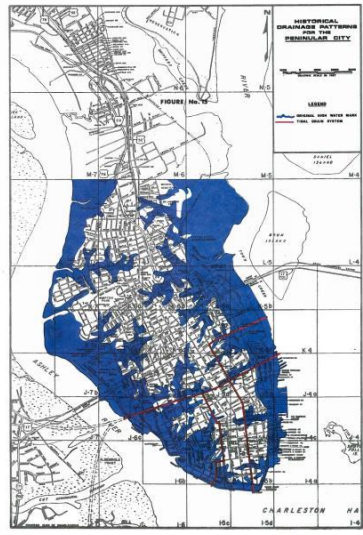
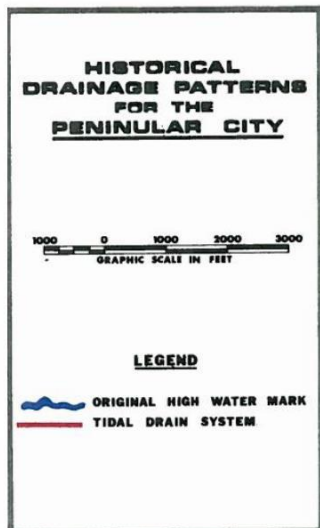


AERIAL



02.22.18
P3

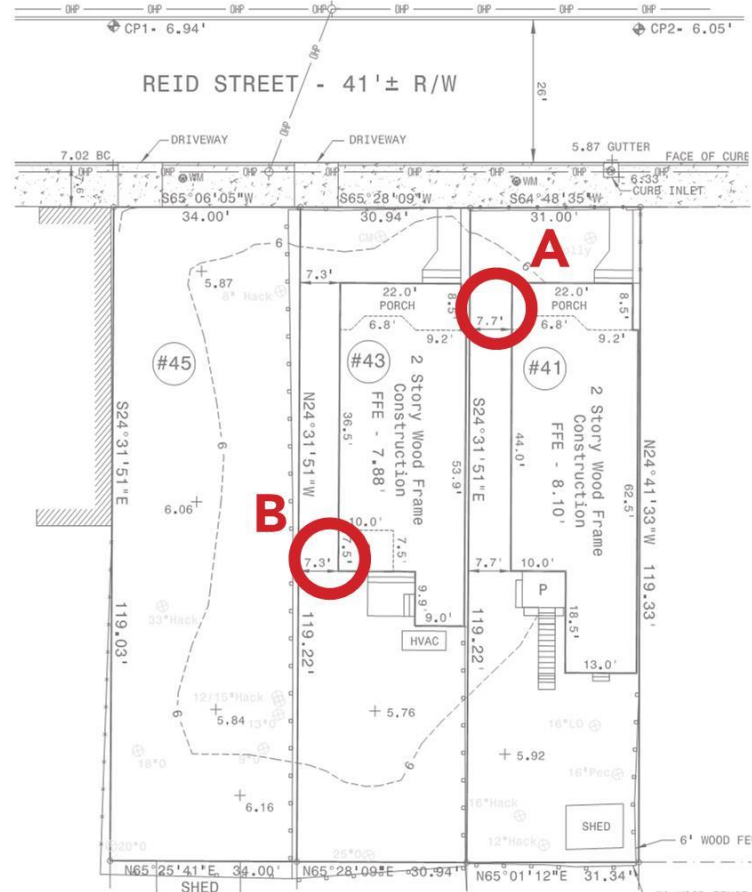
DRAINAGE: REID ST BASIN
10/27/2015 - HIGH TIDE



43 REID ST
CHARLESTON, SC

A**B**

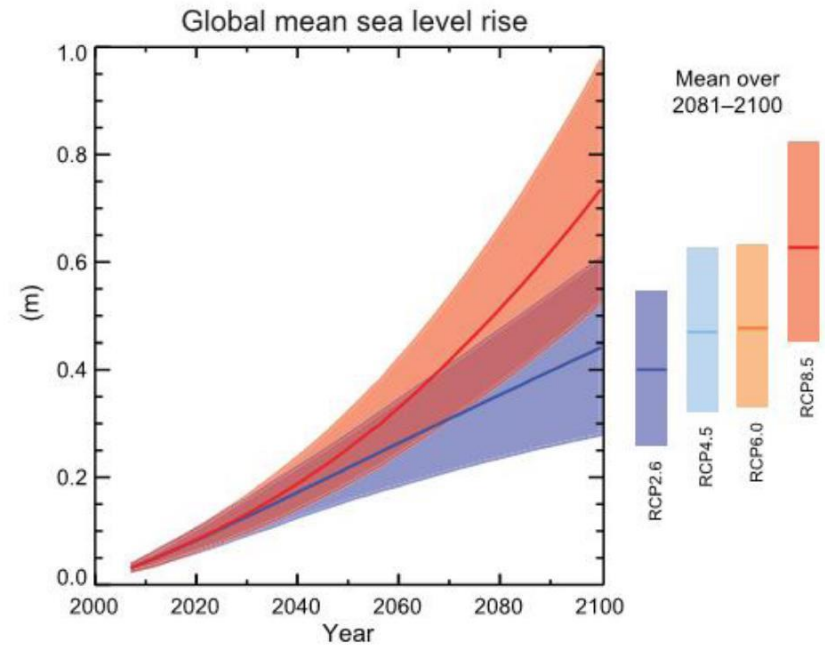
**WATER INFILTRATION SITE PHOTOS: 41-43 REID ST
10/27/2015 - KING TIDE**



**43 REID ST
CHARLESTON, SC**

02.22.18
P5

WATER INFILTRATION PROJECTIONS: 41-43 REID ST
10/27/2015 - KING TIDE



NOAA PROJECTIONS

43 REID ST
CHARLESTON, SC

02.22.18
P6

SITE PHOTOS: 41-43 REID ST
04/24/2017 - HIGH TIDE AND RAIN



SITE PHOTOS: 41-43 REID ST
10/10/2016 - HIGH TIDE AND RAIN



43 REID ST
CHARLESTON, SC

02.22.18
P8



SITE PHOTOS: 43-45 REID ST
09/11/2017 - HURRICANE IRMA



43 REID ST
CHARLESTON, SC

02.22.18
P10

SITE PHOTOS: 43 REID ST
09/11/2017 - HURRICANE IRMA



43 REID ST
CHARLESTON, SC

02.22.18
P11



43 REID ST
CHARLESTON, SC

CONTEXT PHOTOS



43 REID ST
CHARLESTON, SC

02.22.18
P13

CONTEXT PHOTOS



43 REID ST
CHARLESTON, SC

02.22.18

P14

SITE PHOTOS



NORTH STREETScape



SOUTH STREETScape

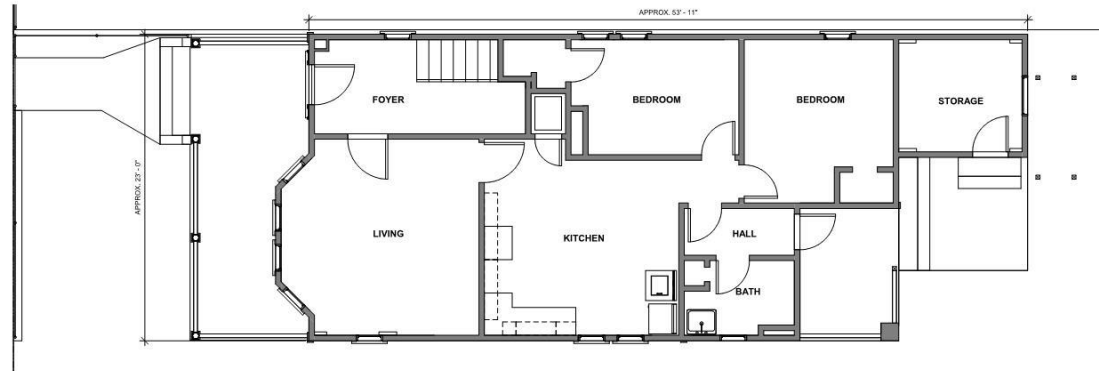
43 REID ST
CHARLESTON, SC

02.22.18
P15

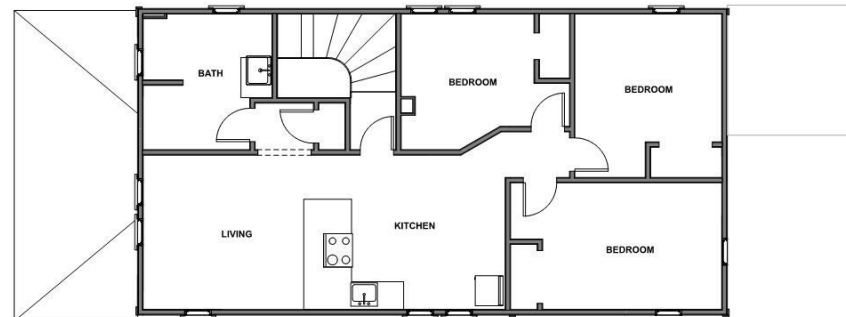
[illegible]

02.22.18
P16

EXISTING PLANS



FIRST FLOOR



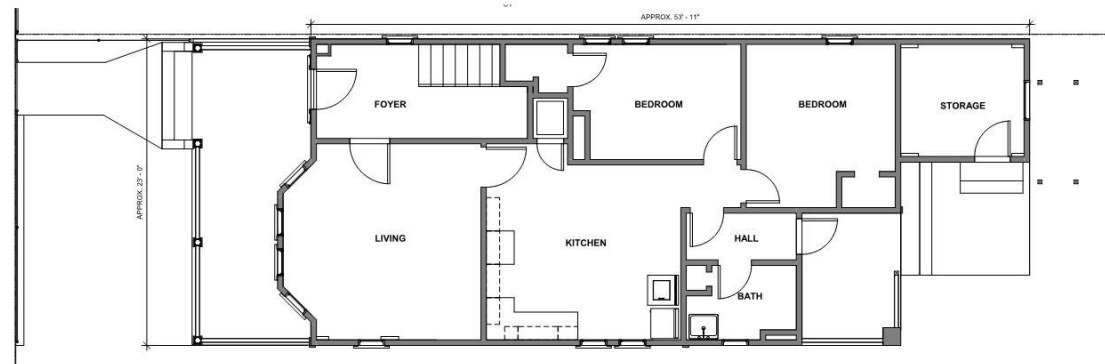
SECOND FLOOR

EXISTING ELEVATIONS

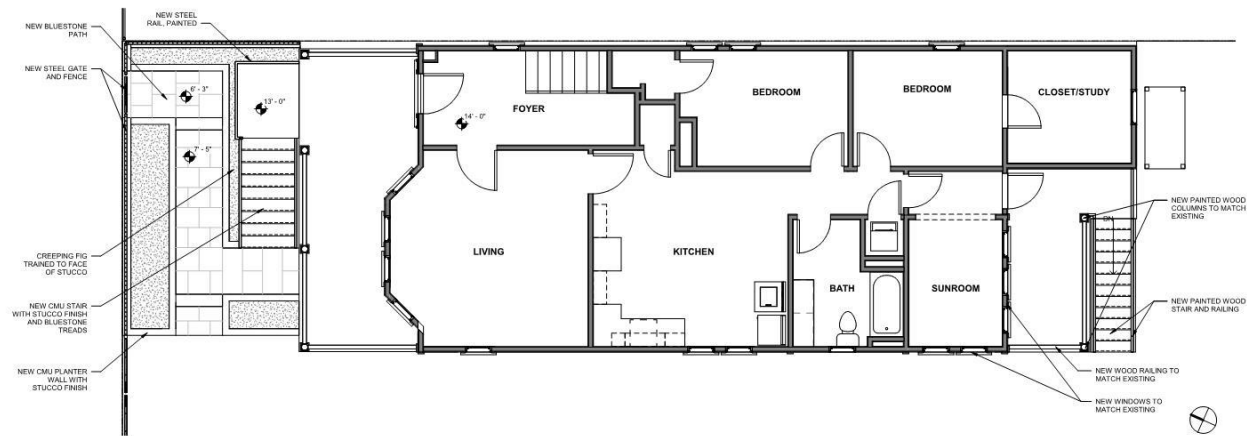


43 REID ST
CHARLESTON, SC

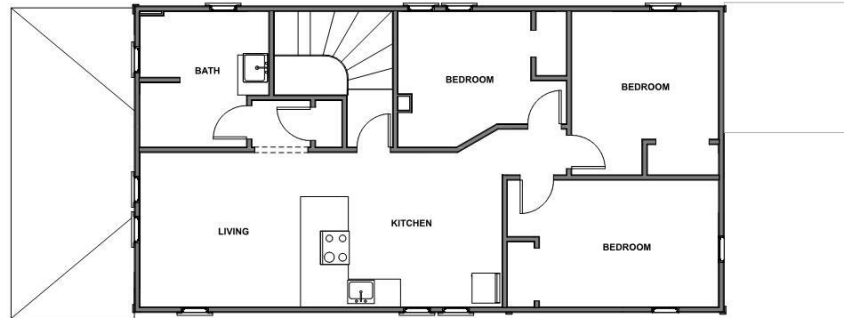
02.22.18
P18



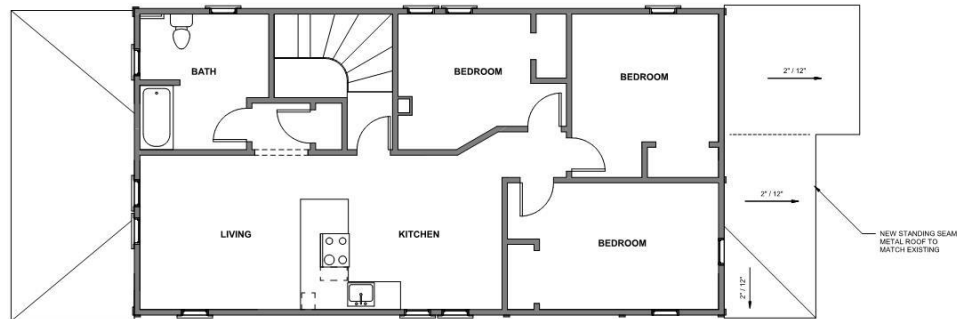
EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR



EXISTING SECOND FLOOR



PROPOSED SECOND FLOOR

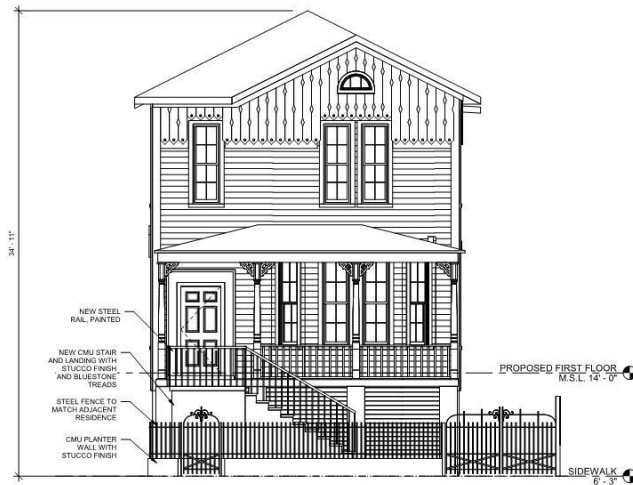
ELEVATIONS



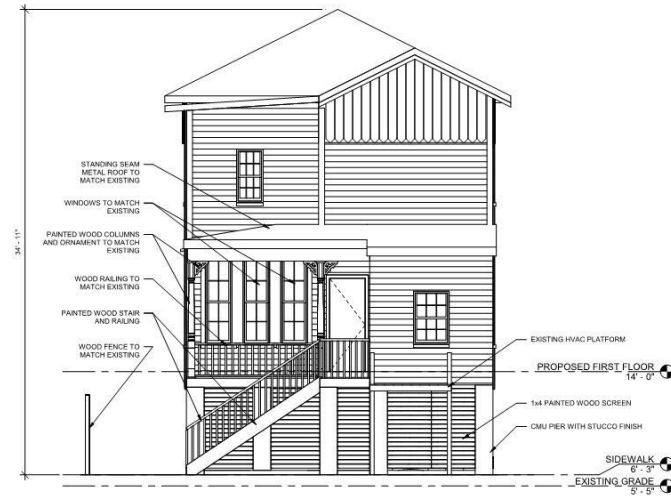
EXISTING NORTH ELEVATION



EXISTING SOUTH ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED SOUTH ELEVATION

43 REID ST
CHARLESTON, SC

02.22.18

P21

ELEVATIONS



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

43 REID ST
CHARLESTON, SC

02.22.18

P22

ELEVATIONS



43 REID ST
CHARLESTON, SC

02.22.18

P23

STREETSCAPE ELEVATIONS



SOUTH - EXISTING



SOUTH - PROPOSED

43 REID ST
CHARLESTON, SC

02.22.18

P24

STREETSCAPE ELEVATIONS



SOUTH - PROPOSED V2

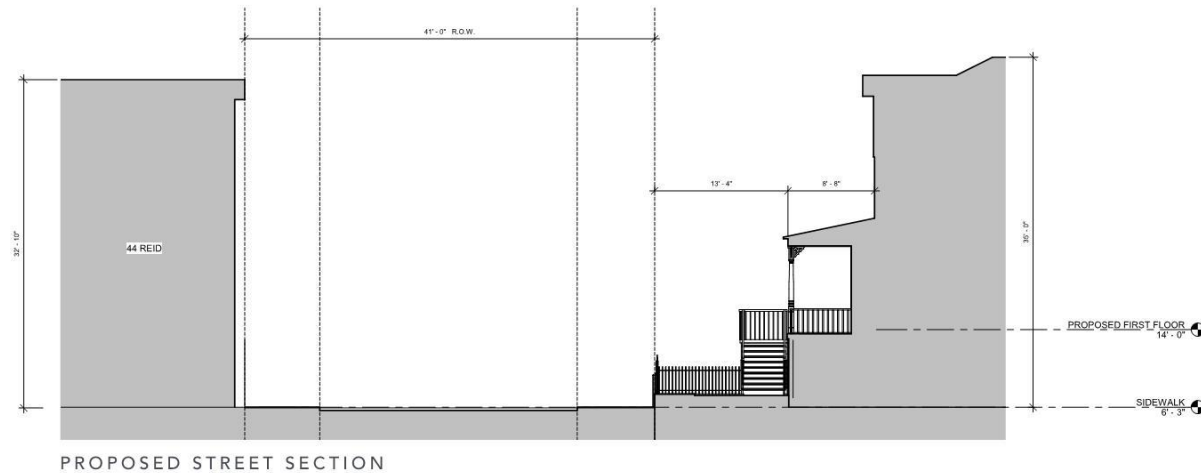
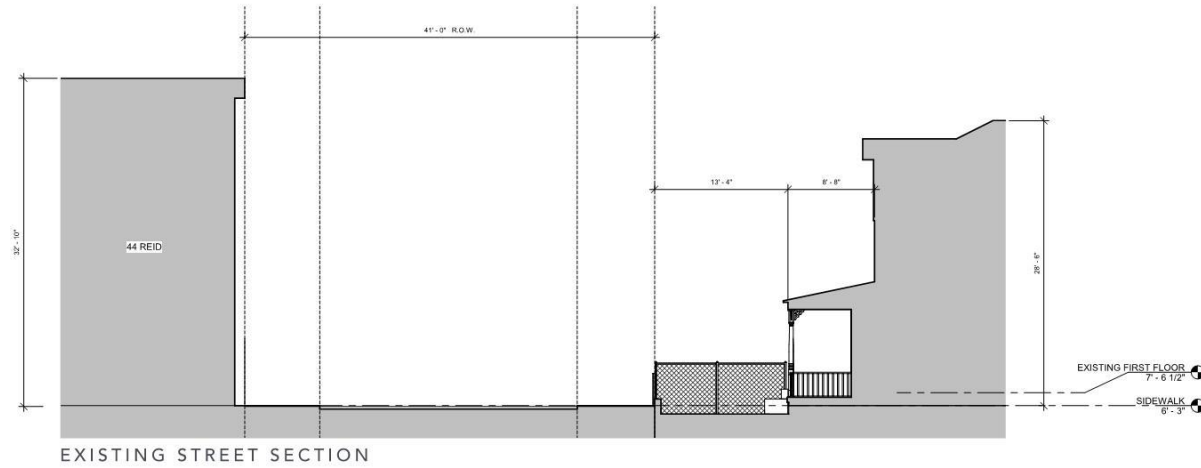


NORTH - EXISTING WITH OUTLINE

43 REID ST
CHARLESTON, SC

02.22.18
P25

STREET SECTIONS



PERSPECTIVES



APPROACH



43 REID ST
CHARLESTON, SC

02.22.18

P27

PERSPECTIVES

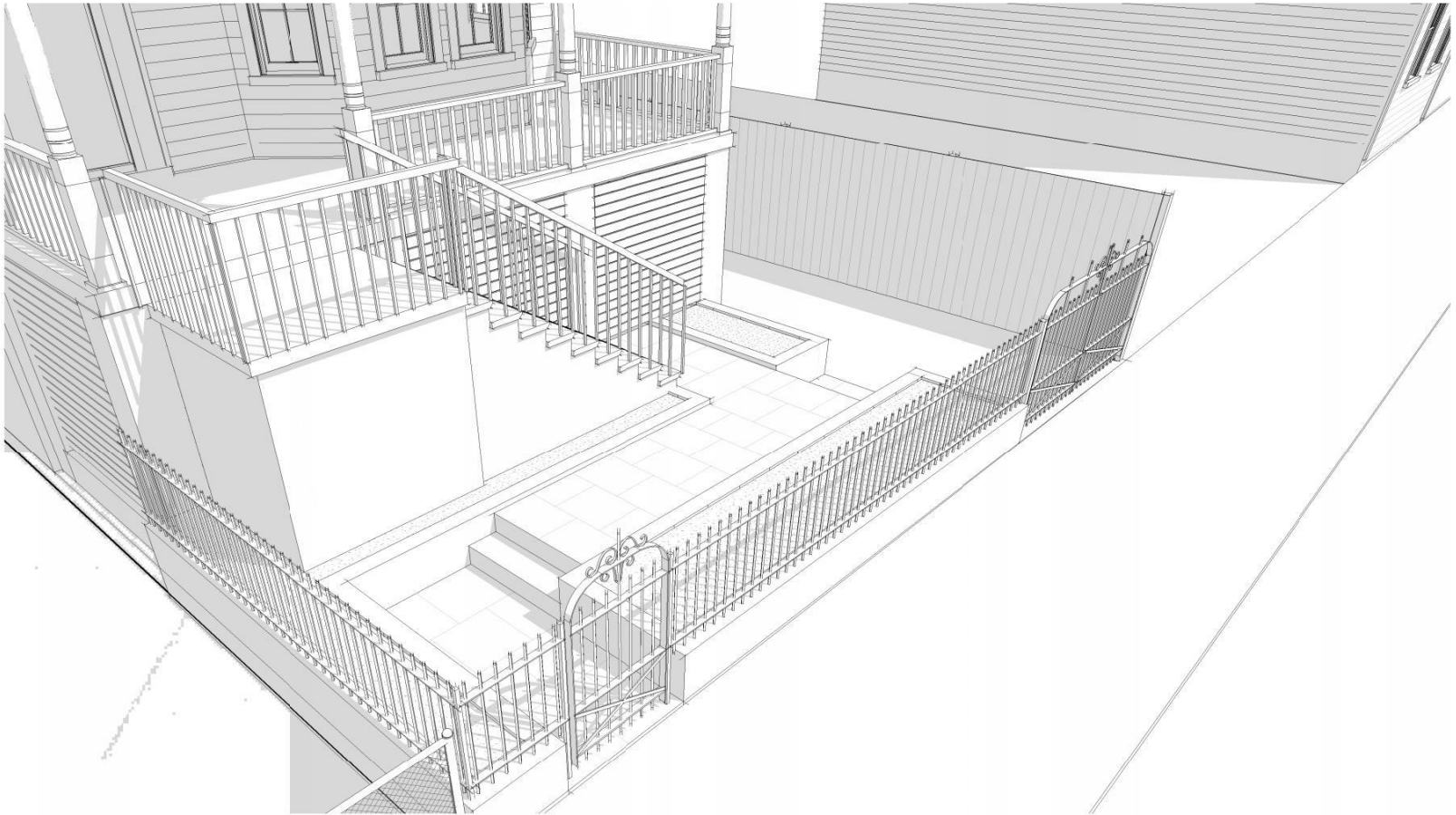


VIEW FROM STREET

43 REID ST
CHARLESTON, SC

02.22.18

P28



PLANTER BED AND STAIR

43 REID ST
CHARLESTON, SC

02.22.18
P29

PRECEDENT IMAGES



ENTRY STAIR - 11 JUDITH ST



TREAD/RAIL DETAIL



GATE - 41 REID ST



GRADE - 41 REID ST

43 REID ST
CHARLESTON, SC

02.22.18

P30

PERSPECTIVES



NORTHWEST STREET VIEW

43 REID ST
CHARLESTON, SC

02.22.18

P31

Agenda Item 15:

67 Pitt Street - - TMS#460-16-03-069

Request conceptual approval for new construction of single family residence at rear.

Category 4 / Radcliffeborough / 1895-1905 / Old and Historic District

RESIDENCE

- 67 Pitt Street -

LOT INFORMATION	SHEET INDEX	GENERAL NOTES
TMS#: 460-16-03-069	S1	EXISTING SURVEY
ZONED : DR-1	S2	PROPOSED SITE PLAN
FLOOD ZONE AE 13	S3	SITE ELEVATION
FRONT SETBACK : NOT REQUIRED	S4	SITE ELEVATION
REAR SETBACK : 3'	S5	ELEVATION COMPARISON STUDY
SOUTHWEST SETBACK : 9'	S6	SITE IMAGES
NORTHEAST SETBACK : 3'	S7	SITE IMAGES
LOT SIZE : 7,949 sq. ft.	S8	SITE IMAGES
	S9	3D VIEW
	A1.1	3D VIEW
ALLOWED LOT COVERAGE (35%): 2,782 sq.ft.	A1.2	3D VIEW
EXISTING LOT COVERAGE (22%): 1,705 sq.ft.	A2.0	FIRST FLOOR PLAN
PROPOSED LOT COVERAGE (34%): 2,697 sq. ft.	A2.1	SECOND FLOOR PLAN
	A2.2	ROOF PLAN
	A2.3	ELEVATION COMPARISON
	A2.4	SOUTH ELEVATION
		EAST ELEVATION
		NORTH ELEVATION
		WEST ELEVATION

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.



SIGNED *Jeffrey W. Sawyer*
JEFFREY W. SAWYER, S.C. PLS L-28690



- LEGEND**
- EXISTING IRON PIN
 - EXISTING CONCRETE MONUMENT
 - SET IRON PIN
 - FLOOD PROTECTION ELEVATION
 - CLOSURE
 - ADJOINER PROPERTY LINE BY DEED OR PLAT
 - FENCE LINE
 - CLEAN OUT
 - TRANSFORMER
 - MAN HOLE
 - TELEPHONE PEDISTAL
 - WATER VALVE
 - WATER METER
 - CALCULATED PT.
 - POWER POLE

VICINITY MAP Not To Scale

- REFERENCES:**
- PLAT BY G.M. HOWE, DATED NOVEMBER 28 1919, & RECORDED IN PLAT BOOK: C PG. 47
 - DEED BK. 0170 PG. 421

NOTES:

THIS PROPERTY IS CURRENTLY ZONED DR-1
THAT IS NOT REQUIRED
REAR-3'
SOUTHWEST SIDE-9'
NORTHWEST SIDE-3'

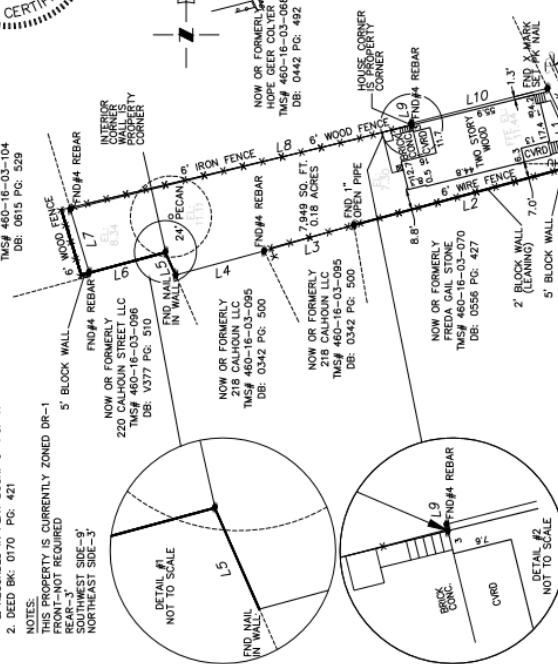
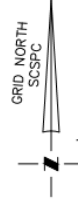
NOW OR FORMERLY
MARGARET HENNESSY FLEMING
TMS# 460-16-03-104
DB: 0815 PG. 529

NOW OR FORMERLY
220 CALHOUN STREET LLC
TMS# 460-16-03-096
DB: V377 PG. 510

NOW OR FORMERLY
218 CALHOUN LLC
TMS# 460-16-03-095
DB: 0342 PG. 500

NOW OR FORMERLY
7,949 SQ. FT.
0.16 ACRES
TMS# 460-16-03-095
DB: 0342 PG. 500

NOW OR FORMERLY
FREDA GAIL STONE
TMS# 460-16-03-070
DB: 0536 PG. 427



LINE	LENGTH	BEARING
L1	36.51	S26°03'40"E
L2	105.49	S74°45'14"W
L3	105.49	S74°45'14"W
L4	40.70	S74°46'09"W
L5	11.29	N23°35'18"W
L6	35.11	S74°50'27"W
L7	29.22	N16°32'55"W
L8	156.02	N78°08'35"E
L9	62.48	N72°09'42"E

ELEVATIONS ARE IN NGVD29
TMS 460-16-03-069
FLOOD NOTE: APPEARS TO BE LOCATED IN FLOOD ZONE AE (13) AS PER FIRM MAP 45019C 08/24L DATED NOVEMBER 17, 2004.

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED



PHYSICAL SURVEY

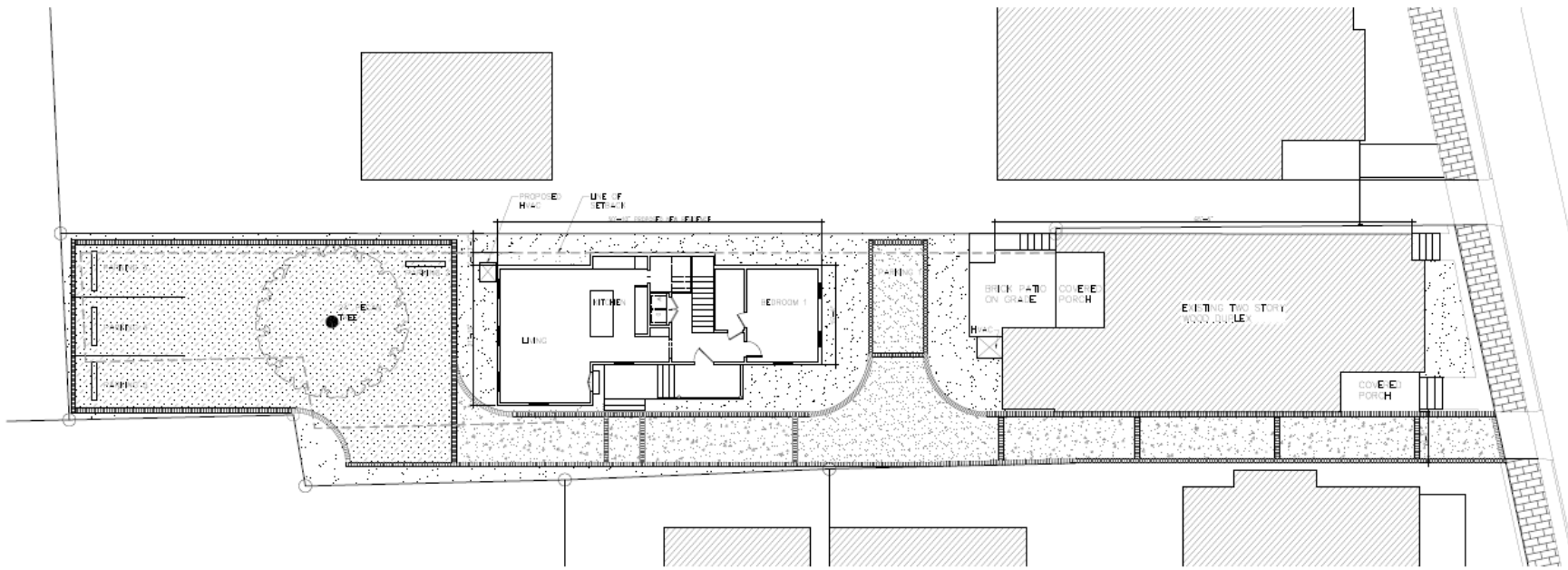
FOR
67 PITT ST

RLA ASSOCIATES, PA
2204 BACONS BRIDGE ROAD
SUMMERVILLE, SC 29485
PHONE (843) 879-9091
FAX (843) 261-9092

City of Charleston, Charleston County, South Carolina

PROPERTY OF: RICHARD P. RITTER
MAP BOOK: C-47 DEED REFERENCE 0170-421

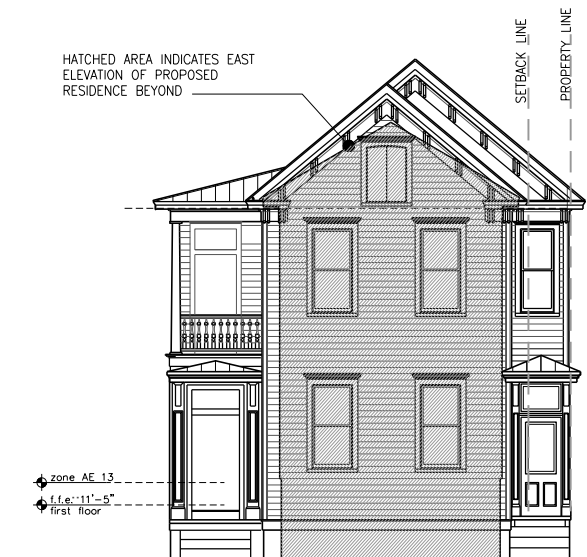
DRAWN BY: MAH DATE: SEPTEMBER 13, 2017



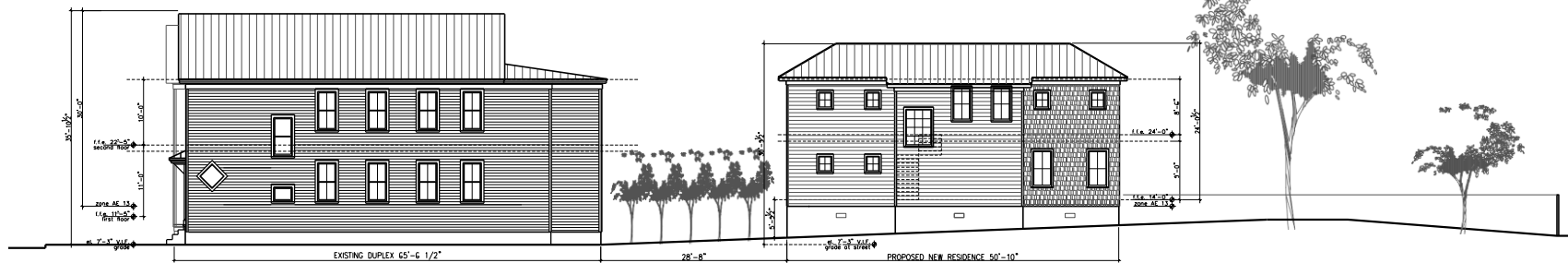
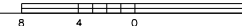
PROPOSED SITE PLAN WITH EASEMENT



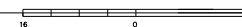
SITE ELEVATION AA



67 PITT STREET ELEVATION



SITE ELEVATION BB





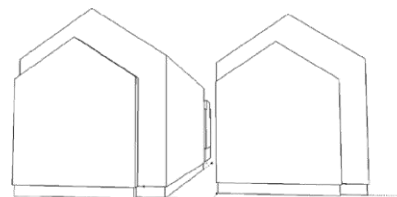
65 Pitt Street

67 Pitt Street

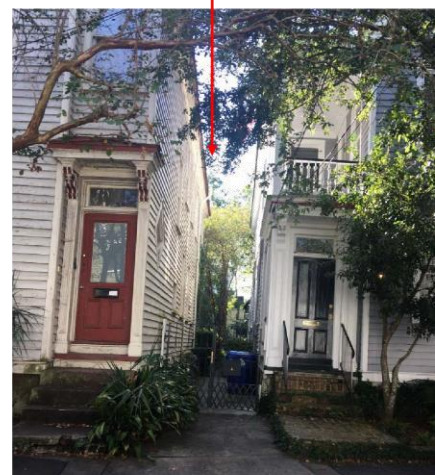


67 Pitt Street

69 Pitt Street



Proposed residence located just behind crepe myrtle set in three feet from the property line.



View between 67 and 69 Pitt



A



B



D



C



D



E Radcliff Square- private street

VIEW CORRIDORS TOWARD PROPOSED RESIDENCE



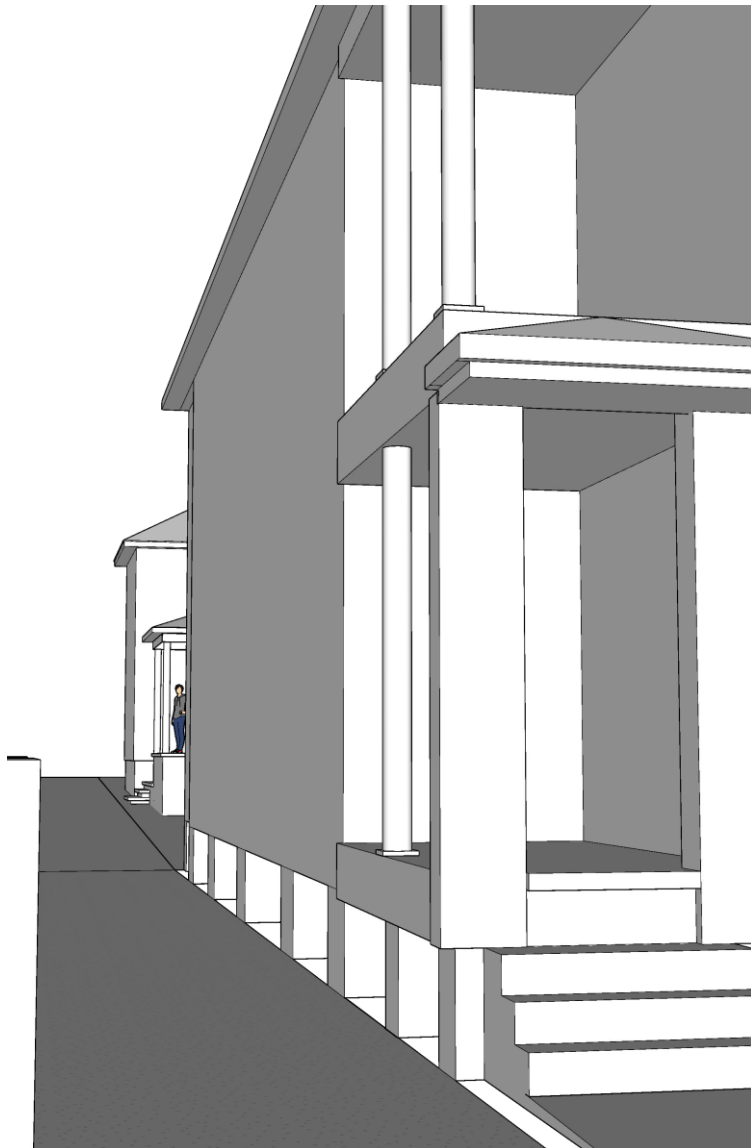
View toward 69 Pitt Street



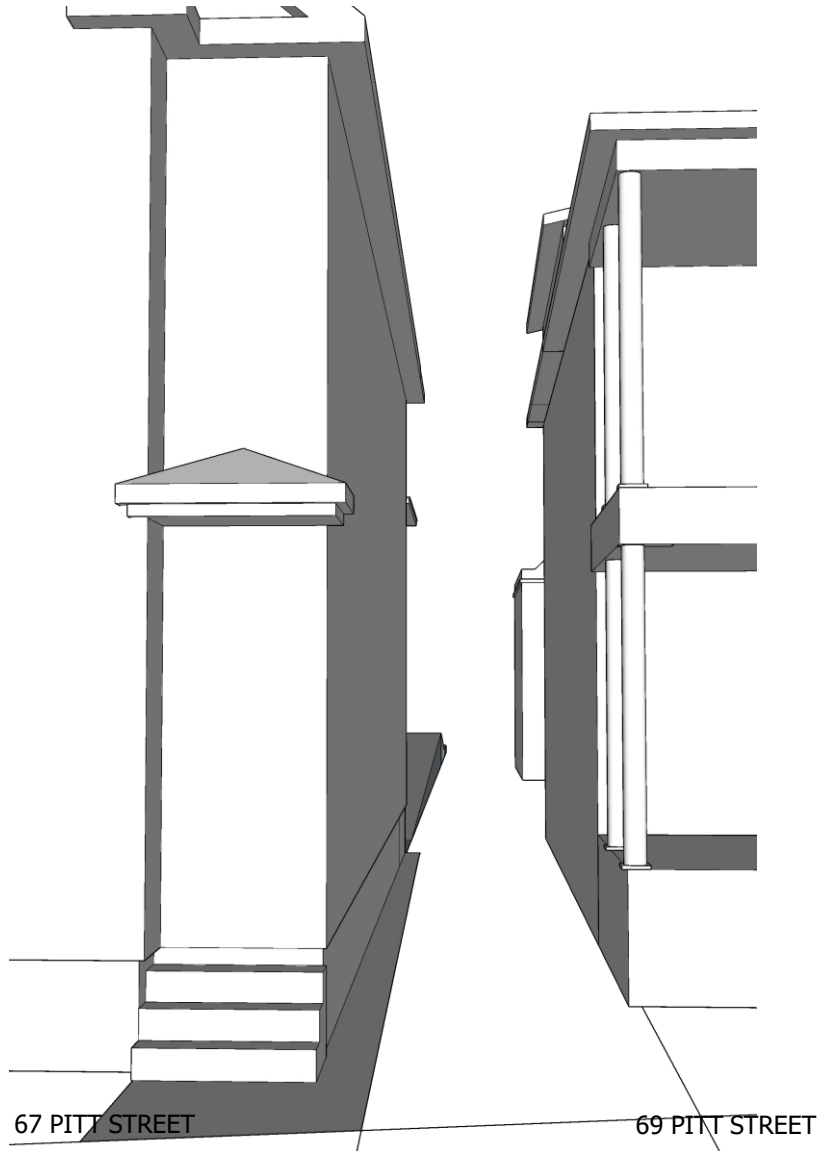
REAR VIEWS OF 67 PITT STREET

PROPOSED RESIDENCE

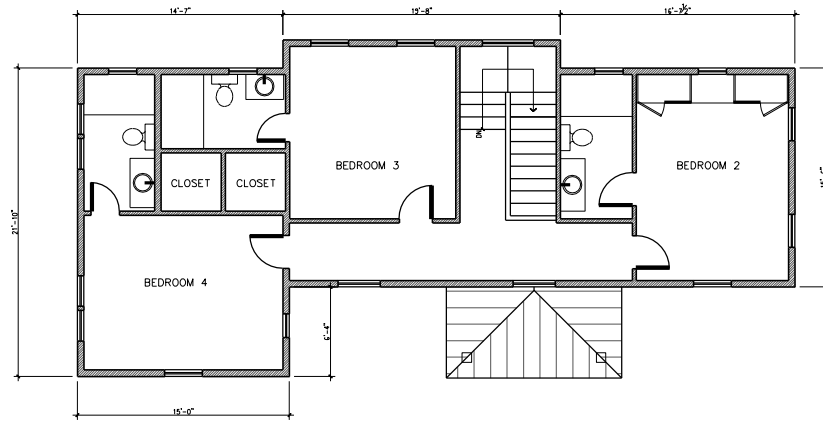




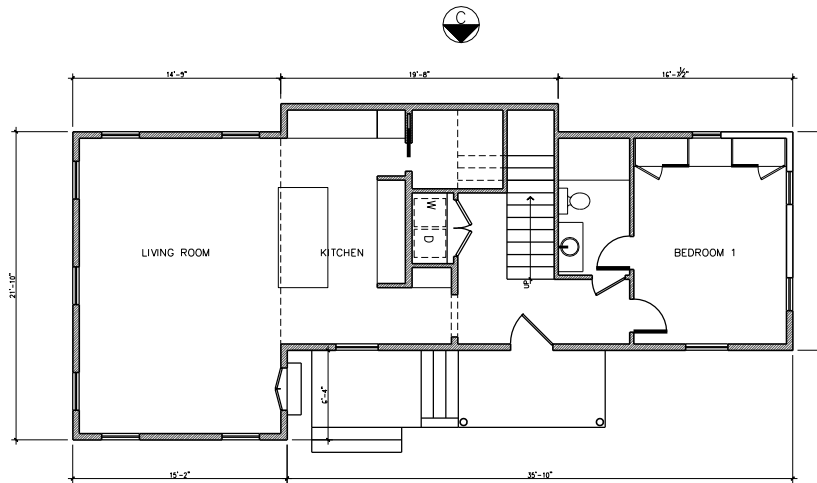
67 PITT STREET



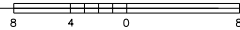
69 PITT STREET

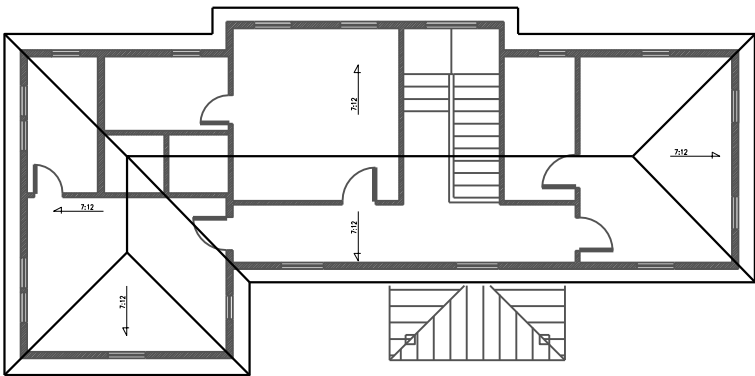


SECOND FLOOR PLAN

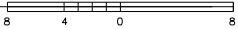


FIRST FLOOR PLAN





ROOF PLAN



ISSUE:
BAR REVIEW
CONCEPTUAL
DATE:
02 / 07 / 18
SHEET:

A1.2

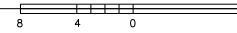
TITLE:
P L A N

67 PITT STREET
CHARLESTON, SOUTH CAROLINA

ELIZABETH DRAKE
liz@drakeemail.com
229.225.6232



A. SOUTH ELEVATION 02.07.18



A. SOUTH ELEVATION 10.15.17

